

Board of Adjustment Agenda

Jackie Dole Sherrill Community Center (Dining Room)

Time: 3:30 PM

5/6/2026

I. Business Meeting

1. Review and approval of May's meeting's agenda
2. Review and approval of the minutes of the March and April meetings
3. Planning Report
4. Chair's Report
5. Introductions

II. Public Hearing

1. Presentation of Petitions for Public Hearing

Jeffrey Mack, Applicant, requests the following variances for a proposed subdivision and house construction for an R-1C zoned property on the corner of Miller Street and Stadium Drive (PPIN 26645, Ward 4, Forrest County):

- Lot 1 (north)
 - Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft
 - Variance from the minimum front setback requirement of 20ft to allow for 17ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - A. ○ Variance from the minimum rear setback requirement of 25ft to allow for 20.5ft
 - Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%
- Lot 2 (south)
 - Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft
 - Variance from the minimum front setback requirement of 20ft to allow for 17ft
 - Variance from the minimum front setback requirement of 20ft to allow for 2.5ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the maximum impervious surface lot coverage

requirement of 50% to allow for 52%

Pedesco, Inc/Perry Doleac, Property Owner/Applicant, requests the following variances at a B-5 zoned property located at 1725 Byron Street (PPIN 23329, Forrest County, Ward 5):

- B.
- A variance from the fence height requirement of a maximum of 4ft in a front yard to instead allow for 8ft.
 - A variance from the requirement of the maximum outdoor equipment storage space of 50% of the side and rear lot area to instead allow for 100%.

- C.
- Felicia McIntyre, Applicant/Property Owner, requests a variance from the minimum lot size requirement for an A-2 zoned property of 43,560 sqft (1 acre) to allow for 21,780 (0.5 acre) for a property located on N Hattiesburg Avenue (PPIN 47150, Forrest County, Ward 5).

- D.
- John Anglin, Applicant, requests a variance from the maximum two-way driveway width of 24ft to allow for 50ft for a property located at 4879 Hwy 49 (PPINs 27634, 27635, 27636, Forrest County, Ward 5).

III. Other Business

IV. Adjournment

**MINUTES OF THE
REGULAR MEETING OF THE
BOARD OF ADJUSTMENT
March 4, 2026**

Board Members Roll Call:

Members Present:

1. Sandi Boykins
2. Richard Conville
3. Herman Dungan
4. John Eye
5. Bernard Green, Vice Chair (Virtual)
6. Shawn Harris, Chair
7. Brandon Williams (Virtual)

Members Absent:

1. Stacey Ready, Secretary
2. Jessica Cathey
3. James Hughes
4. Vacant Seat

Staff Present:

1. Cory Long, Planning Manager
2. Nathan Satcher, Senior Planner
3. Wiley Quinn, Director of Urban Development
4. David Miller, Esq.
5. Meridian McDaniel, Planner I

Chair Harris declared the Board of Adjustment meeting open and in session at 3:48 p.m.

AGENDA REVIEW

A motion was made to accept the agenda for the March 4th, 2026, meeting.

Motion:

Made by Richard Conville to approve the March 4th, 2026, meeting agenda

Second:

Made by John Eye

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan	X		
John Eye	X		
Bernard Green			ABSENT
Shawn Harris	X		
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		

The motion to approve the March 4th, 2026, meeting agenda was passed by a 6-0 vote.

Bernard Green arrived via Teams meeting (virtual).

MINUTES REVIEW

A motion was made by Brandon E.J. Williams to approve the minutes from the December 2025 Meeting.

Motion:

Made by Brandon E.J. Williams

Second:

Made by Sandi Boykins

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan	X		
John Eye	X		
Bernard Green	X		
Shawn Harris	X		
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		

The motion to approve the December 2025 meeting minutes was passed by a 7-0 vote.

PLANNING REPORT

The Planning Division staff gave a report.

CHAIR’S REPORT

No report from the chair.

INTRODUCTIONS:

Board of Adjustment members and Staff introduced themselves.

PUBLIC HEARING:

Item A: Discount Tire/Jarrett Bronson, Property Owner, requests two variances for the maximum requirement of one-way driveaway widths of 14ft to allow for two 20ft one-way driveways for a B-5 zoned property at 6354 Hwy 98 (PPIN 12138, Ward 3, Forrest County).

Discussion and Vote:

Staff introduced the case.

Presented by:

- Jarrett Bronson
- Bobby Corrigan
- Steve Duren

Proponents:

- None

Opponents:

- None

Motion:

Richard Conville motioned to recommend approval of all the requested variances on the basis of “Conformance with the Purposes of this Code.”

Second:

Made by Sandi Boykins

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan	X		

John Eye		X	
Bernard Green	X		
Shawn Harris	X		
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		

The motion to recommend approval of the variance requests passed with an 6-1 vote.

~~~~~

**Item C:** Flora McIntyre, Property Owner, requests a variance from the A-2 requirements for the lot size of 43,560 sqft to instead allow for 19,350 sqft at a R-1C zoned property at 503 Perry Street (PPIN 12378, Ward 5, Forrest County).

**Discussion and Vote:**

Staff introduced the case.

**Presented by:**

- Flora McIntyre

**Proponents:**

- None

**Opponents:**

- None

**Motion:**

Richard Conville motioned to recommend approval of the requested variance on the basis of hardship, reasonable use, and conformance with the purposes of this code.

**Second:**

Made by Sandi Boykins

**Vote:**

| Board Member     | Yea | Nay | Other  |
|------------------|-----|-----|--------|
| Sandi Boykins    | X   |     |        |
| Jessica Cathey   |     |     | ABSENT |
| Richard Conville | X   |     |        |
| Herman Dungan    |     | X   |        |
| John Eye         | X   |     |        |
| Bernard Green    | X   |     |        |
| Shawn Harris     | X   |     |        |
| James Hughes     |     |     | ABSENT |
| Stacey Ready     |     |     | ABSENT |

|                  |   |  |  |
|------------------|---|--|--|
| Brandon Williams | X |  |  |
|------------------|---|--|--|

The motion to recommend approval of the variance request passed with a 6-1 vote.

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ADJOURNMENT

Motion:

Richard Conville motioned to adjourn the meeting.

Second:

Made by Herman Dungan

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan	X		
John Eye	X		
Bernard Green	X		
Shawn Harris	X		
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		

The motion to adjourn passed with a 7-0 vote.

The Board of Adjustment adjourned the meeting at 4:38pm

Stacey Ready, Secretary

Cory Long, AICP, Planning Division Manager

**MINUTES OF THE
REGULAR MEETING OF THE
BOARD OF ADJUSTMENT**

April 1, 2026

Board Members Roll Call:

Members Present:

1. Sandi Boykins
2. Richard Conville
3. Herman Dungan
4. John Eye
5. Bernard Green, Vice Chair (Arrived during Item B)
6. Shawn Harris, Chair
7. Ronda Norris
8. Brandon Williams (Virtual)

Members Absent:

1. Stacey Ready, Secretary
2. Jessica Cathey
3. James Hughes

Staff Present:

1. Cory Long, Planning Manager
2. Nathan Satcher, Senior Planner
3. Wiley Quinn, Director of Urban Development
4. David Miller, Esq.
5. Meridian McDaniel, Planner I

Chair Harris declared the Board of Adjustment meeting open and in session at 3:30 p.m.

AGENDA REVIEW

A motion was made to accept the agenda for the April 2026 meeting.

Motion:

Made by Herman Dungan to approve the April 2026 meeting agenda

Second:

Made by Sandi Boykins

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan	X		
John Eye	X		
Bernard Green			ABSENT
Shawn Harris	X		
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		
Ronda Norris	X		

The motion to approve the April 2026 meeting agenda was passed by a 7-0 vote.

MINUTES REVIEW

Minutes from the March meeting were not distributed and will be reviewed at the May 2026 meeting.

PLANNING REPORT

The Planning Division staff gave a report.

CHAIR’S REPORT

No report from the chair.

INTRODUCTIONS:

Board of Adjustment members and Staff introduced themselves.

PUBLIC HEARING:

~~**Item A:** Jeffrey Mack, Applicant, requests the following variances (from LDC Table 6.1 requirements) for a proposed subdivision and house construction for an R-1C zoned property on the corner of Miller Street and Stadium Drive (PPIN 26645, Ward 4, Forrest County):~~

- ~~○ Lot 1 (north)

 - ~~▪ Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft~~~~

- ~~▪ Variance from the minimum front setback requirement of 20ft to allow for 17ft~~
- ~~▪ Variance from the minimum side setback requirement of 10ft to allow for 2.5ft~~
- ~~▪ Variance from the minimum side setback requirement of 10ft to allow for 2.5ft~~
- ~~▪ Variance from the minimum rear setback requirement of 25ft to allow for 20.5ft~~
- ~~▪ Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%~~
- Lot 2 (south)
 - ~~▪ Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft~~
 - ~~▪ Variance from the minimum front setback requirement of 20ft to allow for 17ft~~
 - ~~▪ Variance from the minimum front setback requirement of 20ft to allow for 2.5ft~~
 - ~~▪ Variance from the minimum side setback requirement of 10ft to allow for 2.5ft~~
 - ~~▪ Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%~~

Bernard Green arrived to the meeting during Item B's staff presentation

Item B: Corina Chicas Maravilla, Applicant/Property Owner, requests the following variances for a property located at 5338 and 5340 Old Hwy 42 (PPINs 22194 & 22195, Ward 2, Forrest County):

- 5338 Old Hwy 42
 - a. Variance from the sidewalk requirement of providing at least 5ft of sidewalk along all street frontages to allow for 0ft of sidewalk. (LDC 7.6.1.1)
 - b. Variance from the green strip requirement of 10ft in width, at least one large, deciduous tree per 60 feet of lineal frontage to allow for 0ft of green space and 0 trees. (LDC 7.10.11.1)
- 5340 Old Hwy 42
 - a. Variance from the sidewalk requirement of providing at least 5ft of sidewalk along all street frontages to allow for 0ft of sidewalk. (LDC 7.6.1.1)
 - b. Variance from the green strip requirement of 10ft in width, at least one large, deciduous tree per 60 feet of lineal frontage to allow for 0ft of green space and 0 trees. (LDC 7.10.11.1)

Discussion and Vote:

Staff introduced the case.

Presented by:

- Karen Hernandez

Proponents:

- None

Opponents:

- None

Motion:

Herman Dungan motioned to:

- Hwy 42 Variances
 - o Recommend denial of the sidewalk variance
 - o Recommend approval of the green space variance with the condition that they can maximize green space via raised beds or traditional green space landscaping.
- Stanley Street Variances
 - o Recommend approval of the sidewalk variance
 - o Recommend approval of the green space variance with the condition that they can maximize green space via raised beds or traditional green space landscaping.

Second:

Made by Bernard Green

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan	X		
John Eye		X	
Bernard Green	X		
Shawn Harris	X		
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		
Ronda Norris	X		

The motion to:

- Hwy 42 Variances
 - o Recommend denial of the sidewalk variance
 - o Recommend approval of the green space variance with the condition that they

can maximize green space via raised beds or traditional green space landscaping.

- Stanley Street Variances
 - o Recommend approval of the sidewalk variance
 - o Recommend approval of the green space variance with the condition that they can maximize green space via raised beds or traditional green space landscaping.

passed with a 7-1 vote.

Item C: Bruce and Rebecca Lacey, Applicants, request the following variances for a property located at 3104 Hardy Street (PPIN 26488, Ward 3, Forrest County):

- Variance from the requirement of active use area of a drive-through area to be located closer than 300 feet to a residential use lot, to allow for 175ft. (LDC 5.4.36.4)
- Variance from the pole sign requirement of 150ft of lineal street frontage to allow for 140ft. (LDC 10.6.2)
- Variance from the green strip requirement of 10ft in width, to allow 8ft of green space. (LDC 7.10.11.1)
- Variance from the one-way driveway requirement of a maximum of 14ft to allow for 16ft. (LDC 7.5.3.2)

Discussion and Vote:

Staff introduced the case.

Presented by:

- Bruce and Rebecca Lacey

Proponents:

- Markus Simmons

Opponents:

- None

Motion:

John Eye motioned to recommend approval of all the requested variances, with the added condition that there will be no amplified sound and that ordering will be face-to-face in the drive-thru (no speaker box or intercom).

Second:

Made by Bernard Green

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan	X		
John Eye	X		
Bernard Green	X		
Shawn Harris		X	
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		
Ronda Norris	X		

The motion to recommend approval of all the requested variances, with the added condition that there will be no amplified sound and that ordering will be face-to-face in the drive-thru (no speaker box or intercom), passed with a 7-1 vote.

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Herman Dungan departed the meeting during Item D’s staff presentation

Item D: Pine Belt Foundation, Applicant, requests a variance from the fence height requirement of a maximum of 4ft in a front yard to instead allow for 5ft for a property located at 119 E Pine Street (PPIN 14623, Ward 4, Forrest County).

Discussion and Vote:

Staff introduced the case.

Presented by:

- Tom Eaves

Proponents:

- None

Opponents:

- None

Motion:

Richard Conville motioned to recommend approval of the requested variance on the basis of Special Privilege, Reasonable Use, and Conformance with the Purposes of this Code.

Second:

Made by Bernard Green

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan			ABSENT
John Eye		X	
Bernard Green	X		
Shawn Harris		X	
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		
Ronda Norris	X		

The motion to recommend approval of the variance request passed with a 5-2 vote.

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ADJOURNMENT

Motion:

Richard Conville motioned to adjourn the meeting.

Second:

Made by Herman Dungan

Vote:

Board Member	Yea	Nay	Other
Sandi Boykins	X		
Jessica Cathey			ABSENT
Richard Conville	X		
Herman Dungan	X		
John Eye	X		
Bernard Green	X		
Shawn Harris	X		
James Hughes			ABSENT
Stacey Ready			ABSENT
Brandon Williams	X		

The motion to adjourn passed with a 7-0 vote.

The Board of Adjustment adjourned the meeting at 5:18pm

Stacey Ready, Secretary

Cory Long, AICP, Planning Division Manager



Hattiesburg Board of Adjustment Planning Division

Item A - Staff Report

May 6, 2026

Quick Facts:

Applicant:

Jeffrey Mack

Address:

Corner of Miller Street and
Stadium Drive

Zoning:

R-1C (Single-Family
Residential)

Future Land Use:

Neighborhood Conservation
District 1

Historic District:

N/A

Overlay District(s):

N/A

Flood Zone:

X

Ward:

4

County:

Forrest

PPIN Number(s):

26645

Parcel Number(s):

052P-09-012.000

Applicant's Requests:

Jeffrey Mack, Applicant, requests the following variances (from LDC Table 6.1 requirements) for a proposed subdivision and house construction for an R-1C zoned property on the corner of Miller Street and Stadium Drive (PPIN 26645, Ward 4, Forrest County):

- Lot 1 (north)
 - Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft
 - Variance from the minimum front setback requirement of 20ft to allow for 17ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the minimum rear setback requirement of 25ft to allow for 20.5ft
 - Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%
- Lot 2 (south)
 - Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft
 - Variance from the minimum front setback requirement of 20ft to allow for 17ft
 - Variance from the minimum front setback requirement of 20ft to allow for 2.5ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%

Background and History

The Applicants have met with staff at several pre-application meetings regarding the development of new residential buildings on the site. The first pre-application meeting, held on January 16, 2025, discussed a plan to build two two-story residential buildings, each around 1,549 square feet, with three bedrooms and three bathrooms. At that meeting, staff noted that the property is zoned R-1C, which requires a minimum lot size of 5,000 square feet and



Property Area Image

at least 40 feet of lot frontage. The applicants were told that the current lot cannot be subdivided without violating these minimum standards. Staff explained that the proposal would need a zoning change and several variances, including those for lot size, setbacks, frontage, and impervious surface coverage. Staff also informed the applicants that a single-family home could be built under existing zoning regulations.

A second pre-application meeting was held on February 12, 2026, where the applicants presented a revised proposal to subdivide the property into two lots for the construction of two single-family homes, each approximately 1,294 square feet, with the intent to rent to students. The proposal continued to necessitate multiple variances from R-1C standards for both resulting lots, including reductions in minimum lot size, front, side, and rear setbacks, and an increase in allowable impervious

surface coverage. During this meeting, staff identified outstanding infrastructure concerns, specifically regarding access from Stadium Drive, which may not be a public street. Staff advised that this issue must be resolved prior to moving forward and noted that an access easement from the Hattiesburg Public School District may be required if the roadway is determined to be private. Conversations with our legal team pointed to the street being “public” through right of way by prescription, which would allow for division of the



property, provided variances or text amendments are in place.

Future Land Use:

Neighborhood Conservation District 1 – Downtown/Historic Neighborhoods: This Neighborhood Conservation District is primarily a residential district located adjacent to Downtown Hattiesburg and in older, established neighborhoods east of U.S. Highway 49. In this district, predominantly residential land uses may be found that exhibit certain types of development patterns.

District Characteristics: The characteristics of this district include the following: moderate-density single-family residences or residential lands along the city’s original street system; certain two-family and multi-family uses constructed to the character of the surrounding neighborhood; buildings with shallow front and side yards; certain neighborhood business land uses that are compatible in design to the surrounding residential areas; and a higher overall density of development than modern or suburban neighborhoods.

District Land Uses: The following land uses should be found in this district: single-family residential uses; certain two–family and multi-family residences, subject to use, density, and design guidelines; public and quasi-public uses, such as churches and schools; and small offices and retail uses clustered along collector streets or at the edges of neighborhoods and constructed to the same character as the surrounding residences.

Codes and Regulations

SECTION 4: Zoning Districts Established

4.5.5 R-1C Single-Family Residential District. The purpose of the R-1C District is to permit single-family residential uses with related recreational, religious and educational facilities. This district is consistent with the Neighborhood Conservation 1 and 2 districts in the Comprehensive Plan. This zoning district encourages protected lower density residential neighborhoods with only compatible supporting institutional uses and open space.

SECTION 6: Dimensional Standards

Table 6.1 Dimensional Standards

District	Minimum Lot Size in SF/ Width at Setback	Max. Dwelling Units	Max. Floor Area Ratio	Setbacks in feet				Max. Height*	Max. Impervious Surface Lot Coverage	Buffer in Feet
				Min. Front	Max. Front	Min. Side	Min. Rear			
A-1	130,680 / 100	1 per lot	-	25	-	15	25	35 feet or 3 stories	35%	-
A-2	43,560 / 100	1 per lot	-	25	-	15	25	35 feet or 3 stories	50%	-
R-1A	10,000/ 50	1 per lot	-	30	-	10	25	35 feet or 3 stories	50%	-
R-1B	7,500/ 50	1 per lot	-	25	-	10	25	35 feet or 3 stories	50%	-
R-1C	5,000/ 50	1 per lot	-	20	-	10	25	35 feet or 3 stories	50%	-
R-2	4,000/ 40	2 per lot	-	20	-	10	20	35 feet or 3 stories	50%	-
R-3	7,500/ 40	17 per acre	-	20	-	5	20	35 feet or 3 stories	50%	-

Considerations and Basis for Approval

Option:

Recommend approval or denial of the following variances (from LDC Table 6.1 requirements) for a proposed subdivision and house construction for an R-1C zoned property on the corner of Miller Street and Stadium Drive (PPIN 26645, Ward 4, Forrest County):

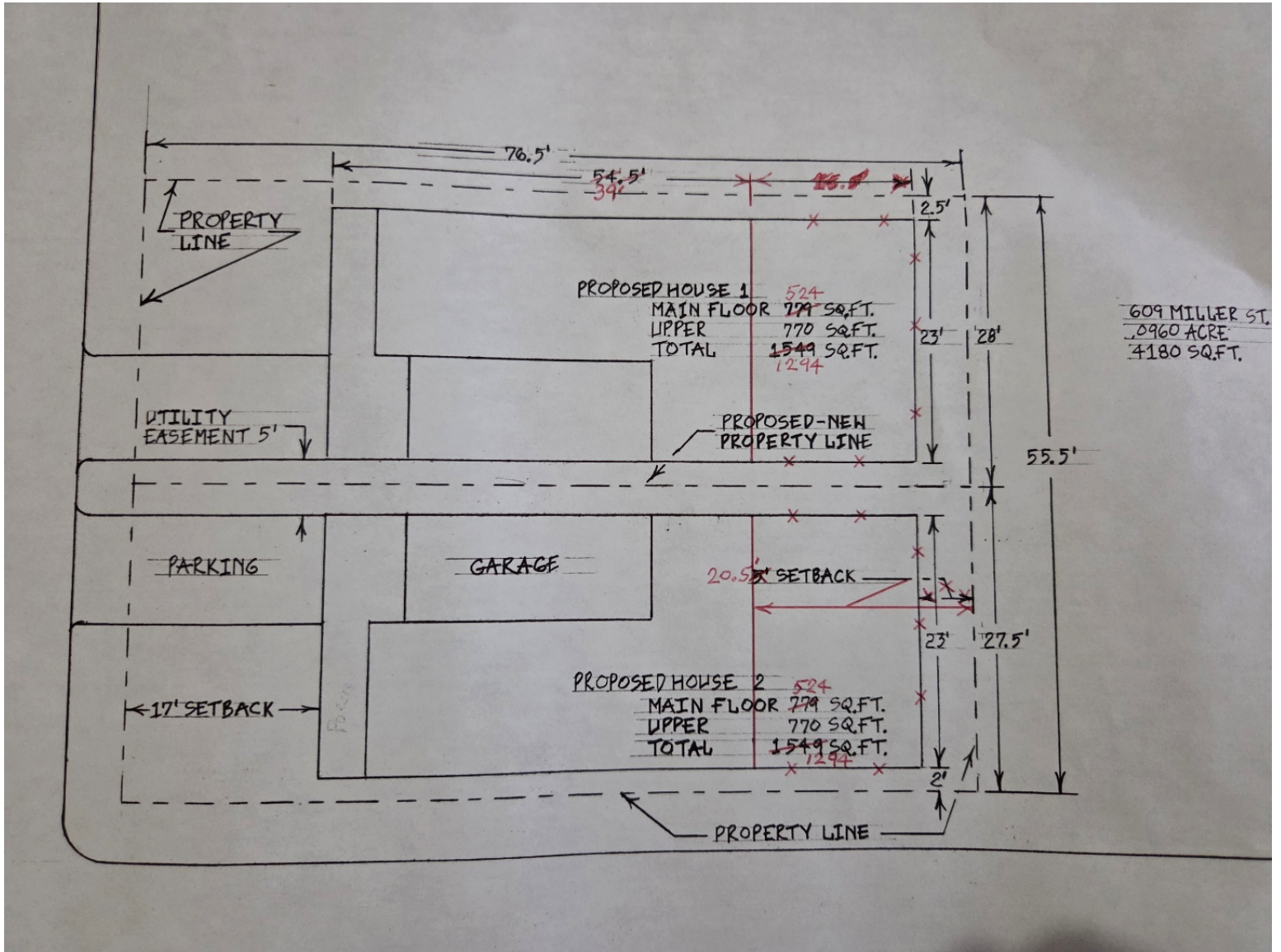
- Lot 1 (north)
 - Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft
 - Variance from the minimum front setback requirement of 20ft to allow for 17ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the minimum rear setback requirement of 25ft to allow for 20.5ft
 - Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%
- Lot 2 (south)
 - Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft
 - Variance from the minimum front setback requirement of 20ft to allow for 17ft
 - Variance from the minimum front setback requirement of 20ft to allow for 2.5ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%

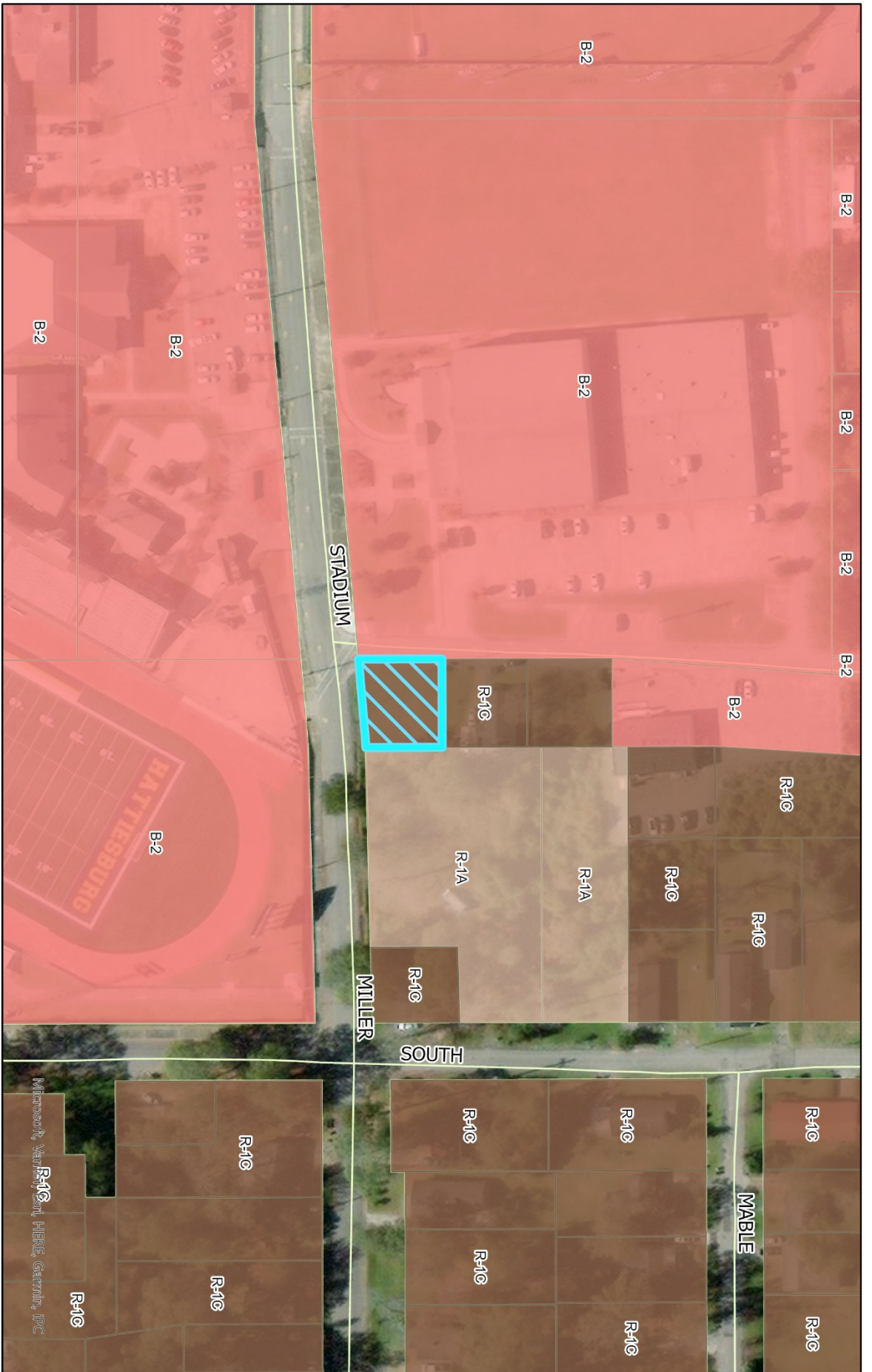
Basis for Approval:

1. Hardship.
 - a. The hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant.
 - b. There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.
2. Special Privilege.
 - a. A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.
3. Literal Interpretation.
 - a. The literal interpretation of the provisions of the regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant
4. Reasonable Use.
 - a. The applicant cannot make reasonable use of the property without the requested variance.
5. Minimum Required.

- a. The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.
6. Conformance with the Purposes of this Code.
 - a. The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code.

PRELIMINARY SITE PLAN LAYOUT





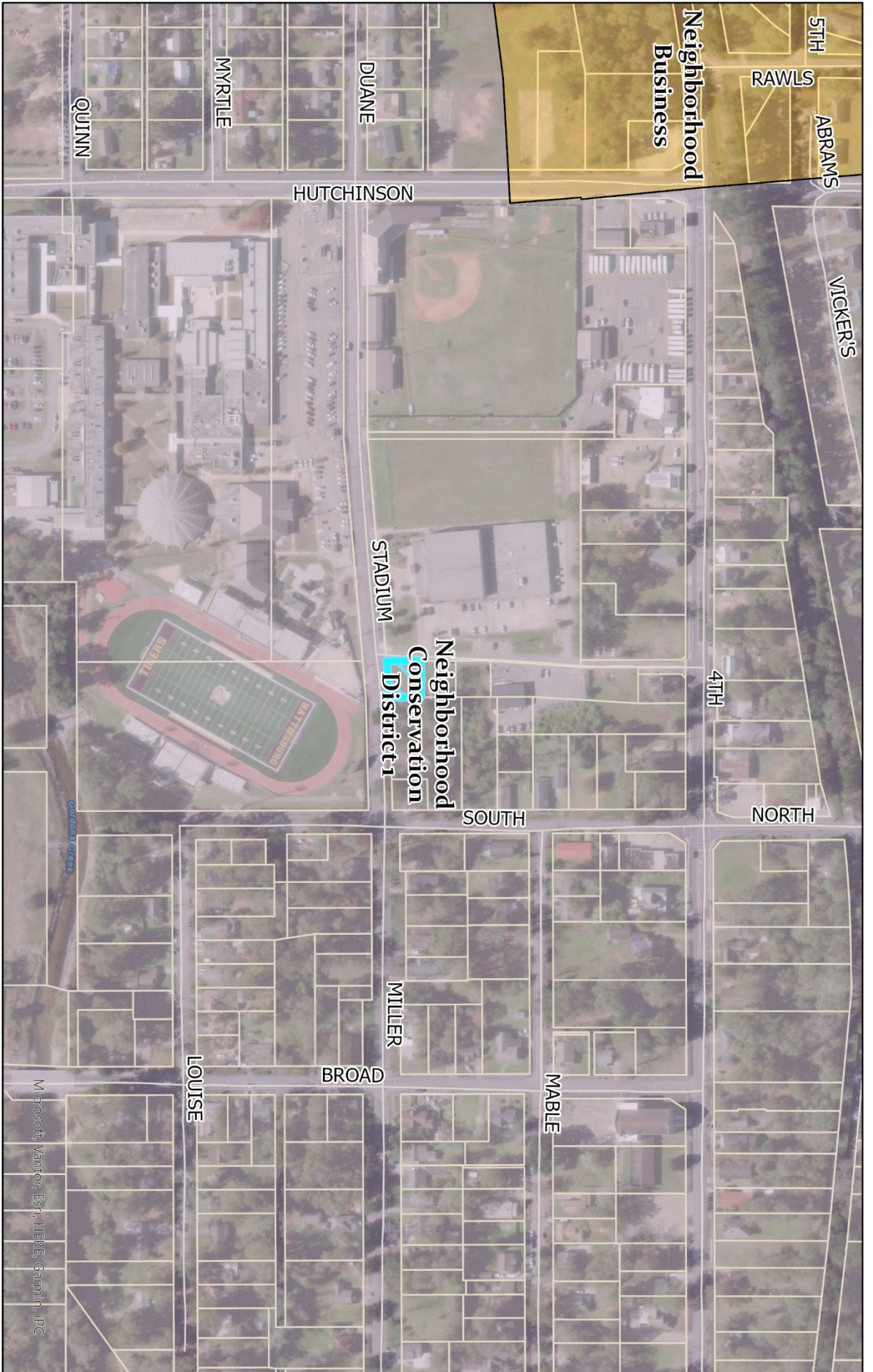
- Zoning Legend**
- R-1A
 - R-1C
 - B-2
 - 609 Miller Street





Variance Request
 609 Miller Street
 PPIN: 26645
 Flood Zone: X
 Ward 4, Forrest County

DISCLAIMER: This map is ONLY FOR REFERENCE. There is NO WARRANTY of the accuracy of data.
 This information CANNOT be used as a substitute for legal, business, tax or other professional advice.
 Map Exported on: 2/3/2026 11:57 AM



URBAN DEVELOPMENT
PLANNING DIVISION
 Center: 89°18'24"W 31°19'49"N



-  Future Land Use Map
-  Neighborhood Business
-  Neighborhood Conservation District 1
-  609 Miller Street

Variance Request
 609 Miller Street
 PPIN: 26645
 Flood Zone: X
 Ward 4, Forrest County

DISCLAIMER: This map is ONLY FOR REFERENCE. There is NO WARRANTY of the accuracy of data. This information CANNOT be used as a substitute for legal, business, tax or other professional advice. Map Exported on: 2/3/2026 12:00 PM



URBAN DEVELOPMENT
PLANNING DIVISION
 Center: 89°18'24"W 31°19'50"N



Surrounding Area Image



Surrounding Area Image





Application for Public Hearing

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599



NOTE:

- Fill this application out IN FULL with what applies to your application
- Refer to the hattiesburgms.com/planning for Land Development Code and GIS map. Access via link or QR code



Applicant Information

Name Applicant: _____ Project Name: _____

Municipal Address of Site: _____ PPIN #: _____

Parcel Number(s): _____

Type of Public Hearing	Additional Information Needed:
<input type="checkbox"/> Variance (fill out pages 7 & 8)	<input type="checkbox"/> Sign <input type="checkbox"/> Setback <input type="checkbox"/> Off-Site Parking <input type="checkbox"/> Lot Width <input type="checkbox"/> Lot Coverage Area <input type="checkbox"/> Buffer <input type="checkbox"/> Open Space <input type="checkbox"/> Other: _____
<input type="checkbox"/> Rezoning (fill out page 11)	Existing Zoning: _____ Proposed Zoning: _____
<input type="checkbox"/> Conditional Use (fill out pages 9 & 10)	<input type="checkbox"/> Automotive Filling Station <input type="checkbox"/> Digital Billboard, New <input type="checkbox"/> Digital Billboard, Replacement <input type="checkbox"/> Telecommunications <input type="checkbox"/> Restaurant <input type="checkbox"/> Solar Farm <input type="checkbox"/> Other: _____

Other Application types:

- | | |
|--|---|
| <input type="checkbox"/> Subdividing of a lot, Parcel, or Tract (fill out page 12)
<input type="checkbox"/> Street or Alley Renaming (fill out pages 13 & 14)
<input type="checkbox"/> Vacating Street or Alley (fill out pages 13 & 14) | <input type="checkbox"/> Text Amendment
<input type="checkbox"/> Overlay District
<input type="checkbox"/> Planned Mixed-Use District (PMU) |
|--|---|

For Staff Only:				
Zoning:	Historic District:	Flood Zone:	Ward:	
			<input type="checkbox"/> 1	<input type="checkbox"/> 2
			<input type="checkbox"/> 3	<input type="checkbox"/> 4
			<input type="checkbox"/> 5	
Project Number:		Received:		
PPIN # or Parcel #:				



Application for Public Hearing

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

Public Hearing Petitioner Information:

Deadline for applicant to file petition: _____

Hattiesburg Planning Commission Meeting Date: _____

Hattiesburg Board of Adjustment Meeting Date: _____

City Council Agenda Review Date – (you or your representative should attend): _____

City Council Meeting (Vote) Date – (you or your representative may attend): _____

- There is a 10-day appeal period, required by State Law, between the Planning Commission Meeting and/or Board of Adjustment Meeting and the City Council Meeting – appeals must be filed within this 10-day period.
 - There is an additional 10-day appeal period, required by State Law, after the City Council Meeting, for all Variances and Conditional Use Permit which ends _____ and a 30-day wait period for Zoning or Street closing/re-naming, PMUs, PRDs, PUDs which ends _____.
- So, if approved by the City, no final site plan review approvals or building permits could be issued prior to these dates.

*Dates and times are subject to change. If an appeal is filed or the petition is tabled for any reason at any stage, the above-listed dates would need to be revised. *

Public Hearing Application Checklist

The following paperwork **MUST** be attached to this application:

- Site Diagram (11” x 17” preferred size): Drawing to scale prepared by professional engineer/surveyor showing lot dimensions, existing/proposed building, signs, parking areas, etc. (Different standards may be accepted only per approval from staff)
- Site & Design Review Committee, if needed
- Copy of entire Warranty Deed (filed and recorded at the courthouse) with legal description granting title to the current owner. (If the Warranty Deed covers a larger piece of property than the current project, a legal description for this project site only may also be required)
- Electronic/Digital copy of legal description **REQUIRED** for all public notices, saved as Word or text document OR emailed to planning@hattiesburgms.com
- An affidavit (pages 3 & 4) attesting that the applicant or representing party (if other than the owner) is acting on behalf of the owner(s) of record. The affidavit must be sworn to before a notary public or other appropriate official. (Included in owners signature page, or may be a separate document).
- Variance application only:** A letter of approval/denial from all adjoining property owners must be obtained and submitted with the application
- Other documents needed (if relevant):
 - Maps of digital billboard removal sites
 - Maps of digital billboard replacement sites
 - Documentation on measurements
 - Other: _____
- Payment to the City of Hattiesburg for filing a public hearing application in the amount of \$_____



Application for Site Plan Review

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

The following fees are an excerpt from Ordinance No. 2977, adopted January 22, 2008, as amended.

<u>Public Hearing Fees</u>	
Public Hearing Type	Fees Associated
Variance Variance applications include one Concept Site Plan Review and one Variance request	\$175.00 per application. \$50.00 for each additional variance.
Street / Alley Naming or Re-Naming	\$300.00 per application. \$100.00 per required street name sign if approved* (*Fees for replacement street signs shall be paid after City Council approval but prior to the effective date.)
Street / Alley Closing	\$300.00 per application.
Conditional Use	\$200.00 per application.
Zoning Change	\$400.00 per application. *see PUD or PRD & zoning package rate)
Planned Unit Development (PUD) or Planned Residential Development (PRD) with zoning change package	\$600.00 per package.
Subdivision of Land (Preliminary Plats) Note: Final Plats should be submitted to the governing body for approval within 12 months of approval of preliminary plats.	\$225.00 per application. \$10.00 per each additional created lot (** see PUD or PRD & Subdivision of Land package rate)
Planned Unit Development (PUD) or Planned Residential Development with Subdivision of Land Package**	\$500.00 per application. \$10.00 per each additional created lot (** see PUD or PRD & Subdivision of Land package rate)
Change in Land Development Code Text	\$200.00 per application.
Appeal Fees for Proponent or Opponent appeals to City Council *Exempt from fees – Established Neighborhood Association*	\$50.00 per appeal.
Cancellation/Re-notification fee on any public hearing process (Planning Commission or City Council) that is tabled or cancelled at the owner/developer's Request	\$50.00 (per each 100 mailing labels)

OTHER PROCESSES MAY HAVE ADDITIONAL FEES
 Make all checks payable to the City of Hattiesburg

I hereby certify that I have completed and attached the above-required documents, information, and fees.

Print Name: _____

Signature: _____

Updated Version 05/22/2025

OWNER AFFIDAVIT PAGE

THIS PAGE MUST BE SIGNED IN FRONT OF A NOTARY, BY THE OWNER(S) OF THE SUBJECT PROPERTY

WITNESS THE SIGNATURES of the **OWNER(s)** of the subject property located at

Street Address City State

on this the _____ day of _____, 20____.

In the matter of this request, the property owner further authorizes the following named person(s) to represent them at the public hearing on this petition.

on this the _____ day of _____, 20____.

Property Owner (Print)

Property Owner (Signature)

STATE OF _____

COUNTY OF _____

Personally came and appeared before me, the within named

_____,
who signed and delivered the above and foregoing instrument as and for their free act and deed on the day and year therein mentioned, and who acknowledge to me that they are the owner(s) of the subject property as described in this Public Hearing Application.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the _____ day of _____, 20____.

NOTARY PUBLIC

My Commission Expires:

APPLICANT AFFIDAVIT PAGE

THIS PAGE MUST BE SIGNED IN FRONT OF A NOTARY, BY THE **APPLICANT(S)** OF THE PETITION, **ONLY** IF DIFFERENT FROM THE OWNER(S) OF THE SUBJECT PROPERTY.

WITNESS THE SIGNATURES of the **APPLICANT(S)** of the subject property located at

Street Address City State

on this the _____ day of _____, 20____.

In the matter of this request, the property owner further authorizes the following named person(s) to represent them at the public hearing on this petition.

on this the _____ day of _____, 20____.

Applicant (Print)

Applicant (Signature)

STATE OF _____

COUNTY OF _____

Personally came and appeared before me, the within named

_____,
who signed and delivered the above and foregoing instrument as and for their free act and deed on the day and year therein mentioned, and who acknowledge to me that they are the owner(s) of the subject property as described in this Public Hearing Application.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the _____ day of _____, 20____.

NOTARY PUBLIC

My Commission Expires:

FOR VARIANCE APPLICANTS:

The Board of Adjustment has the responsibility to hear and make recommendation on requests for variances to the requirements of this Code (per Section 11.4). Section 12.4.1 Variances are departures from the standards of the Land Development Code, except land use, which will not be contrary to the public interest and where, owing to conditions peculiar to the property and not as a result of the action of the applicant, a literal enforcement of this Code would result in unnecessary and undue hardship.

The following conditions must be met before a variance can be recommended.

Approval Criteria.

A variance is not a right, but a privilege that property owners meeting the following criteria may request. These criteria are to be used to consider all variance requests. It shall be the burden of the applicant to prove that the request meets these criteria. Use this worksheet or format your own to demonstrate the following criteria.

1. **Hardship.** (a) the hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant. (b) There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.

2. **Special Privilege.** A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.

3. **Literal Interpretation.** The literal interpretation of the provision of the regulation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant.

4. **Reasonable Use.** The applicant cannot make reasonable use of the property without the requested variance.

5. **Minimum Required.** The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.

6. **Conformance with Purpose of this Code.** The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code.

12.4.1.2 Conditions of Approval. In recommending the granting of a variance, the Board of Adjustment may require appropriate conditions and safeguards in conformity with this Code. Violation of such conditions and safeguards, when made a part of the terms under which a variance is granted, shall be deemed a violation of the Code. The recommendation of the Board Adjustment shall be presented to the City Council for final action.

FOR CONDITIONAL USE APPLICANTS:

Section 12.3.3.1 Compliance Required. Uses requiring Planning Commission approval as noted in the Tables of Uses in Section 5 of this Code, shall be approved subject to this Section.

Any application for such use must comply with: all applicable standards that apply to similar uses and properties in the zoning district in general, the specific conditions listed for that use in Section 5, and the following criteria. *Where conflicts exist, the Planning Commission shall determine which criteria apply on a case-by-case basis.*

- 1. Does this application meet the conditions set forth in Section 5 of the LDC for the requested use? If yes, please explain:**

- 2. Describe the effects the proposed use of utilities and facilities will have on the community.**

- 3. Describe how the size of the site is appropriate for the proposed use.**

- 4. Will there be any additional pedestrian or vehicular traffic generated by the proposed use? If yes, please explain:**

- 5. Will there be any elevation in the noise level resulting from this proposed use? If yes, please explain:**

6. What is the expected number of customers/employees per day?

7. Is proposed use compatible with surrounding uses and design? If yes, please explain:

8. **Parking requirements:** Commercial/Industrial: Paved parking will be provided for _____ vehicles, and _____ ADA vehicles; with _____ loading spaces.

For more information, please reference the Land Development Code Section 12.3.3.2

Refer to the hattiesburgms.com/planning for Land Development Code and GIS map. Access via link or QR code.



FOR SUBDIVIDING OF LOT, PARCEL OR TRACT

Property Data

- Parent Parcel / Existing lot/parcel/tract contains: _____ Square Footage/Acres
- Lot Area Requirement:
- Lot Frontage Requirement:
- Existing use of lot/parcel/tract
- To be subdivided into _____ lots/parcels (including parent parcel) – outlined below.

Use extra copies of this form if needed for additional lots

Newly Subdivided Parcels	New lot size in square footage (SF) or acres (A)	New lot has public road frontage	New lot has private road frontage	Indicate name of public or private road(s)	STAFF ONLY Lot area & frontage requirements comply?
1.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
2.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
3.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
4.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
5.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
6.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
7.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
8.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
9.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
10.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
11.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
12.		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Be sure to include information on the remainder of "existing" lot after splits made – identify as "Parent Parcel"</u>					
<u>Parent Parcel</u>					
<u>Total square footage of new lots (verify total matches existing parcel prior to splits)</u>					

Infrastructure required: (Check all that apply)

- Water/Sewer Gas Electric Telephone Cable Streets

FOR STREET/ALLEY RENAMING, CLOSING, OR VACATING

1. **Indicate the specific request(s):**

- Street Alley Closing Vacating Naming Renaming

2. **Current name of street/alley to be named/renamed, vacated, or closed:**

3. **Proposed name of street/alley to be named/renamed (If Applicable):**

4. **Describe the portion of the street/alley to be renamed, closed, or vacated (use all bounding or intersecting streets/alleys, from and to):**

5. **Tax Block(s) and Lot(s) involved in closing request:**

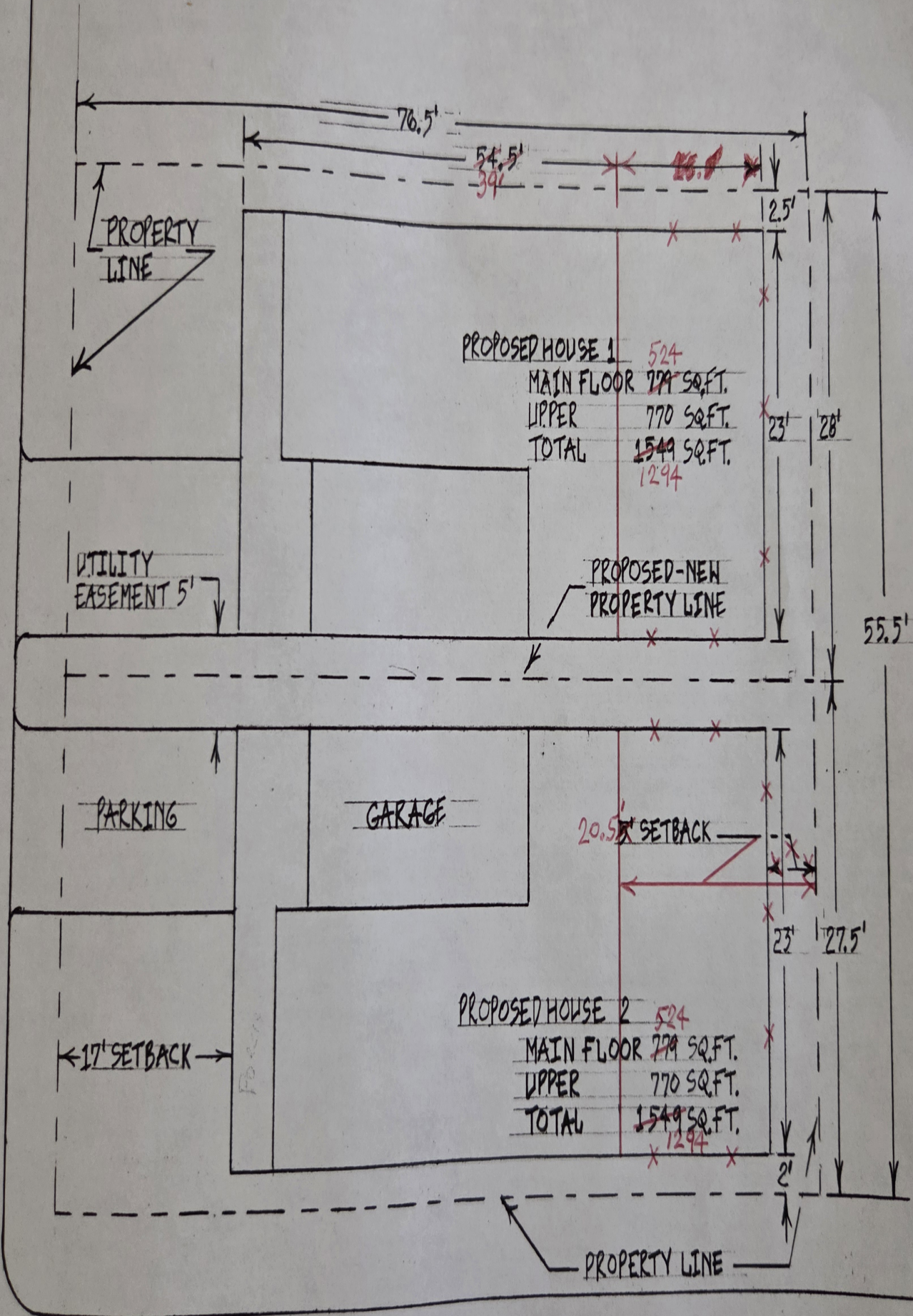
6. **Describe the existing land use of properties and the number of residents affected by renaming the street/alley within 400 feet:**

Type of Land Use of adjacent development	Number of properties adjacent to the existing street	Number of property owners adjacent to the existing street	Number of residents affected by the change of address
Businesses			
Residences			
Apartments			
Churches/Schools			
Other			

Any Additional Information: _____

7. **Describe the effect the proposed change will have on existing development and the transportation system within the affected area:** _____

8. Have applications for zoning, variance, building permit, or other applications been filed?
 Yes (If so, provide reference #s and dates: _____)
 No
9. Acknowledgement of property owners affected by the street/alley renaming. Include all names and addresses. Please attach these as additional page(s).
10. Obtain from City's Engineering Department the legal description of the street/alley or portion thereof to be closed, vacated, named, or renamed (electronic copy required)



609 MILLER ST.
 .0960 ACRE
 4180 SQ.FT.



Staff Present:

Nathan Satcher (Senior Planner), Jerald Little (Engineering Technician), Shawn Whitaker (Fire Marshal), Meridian McDaniel (Planner I).

Project: Proposed Single Family Homes

Address: 609 Miller Street

Presented by: Percy and Jeffrey Mack

Project Type: New Construction

PPIN: 26645

Flood Zone: None

Historic District: N/A

Elevation Certificate Required: No

County: Forrest

Ward: 2

Estimated Cost: TBD

Zoning: R-1C

Designated Use: TBD

PROJECT SUMMARY:

- Applicant Summary
 - Wanting to build two structures with garage – two floors each for a total of 1549 sqft. 3 bedrooms, 3 bathrooms.
- Planning
 - Zoning of the property is R-1C
 - R-1C requires a 5000 sqft lot size minimum and 40ft lot frontage
 - Lot cannot be split because it would not meet the lot size minimum.
 - Would require a zoning change and multiple variances.
 - Zoning change goes before the Planning Commission
 - Variances go before the Board of Adjustment
 - Variances would be for the lot size, rear setback variances, frontage requirements, and impervious surface lot coverage variance.
 - Could be one single-family home—could do this now and start pulling permits.
 - Could consider rezoning the property to R-2 to make a duplex
 - Rezoning would require a public hearing
- Building
 - Not present at this meeting.
- Engineering
 - Water meters would need to be set off Stadium Drive.
- Fire
 - No comments at this meeting.

NEXT STEPS:

Pre-application meeting notes are provided as a courtesy by staff during pre-application meetings. These notes are not exhaustive. All Land Development Codes and City Ordinances apply, even if not listed during a pre-application meeting.

- Additional information
 - Schedule another pre-application meeting when ready—to discuss the public hearing that would be needed.

APPLICATIONS REQUIRED:

- | | |
|---|--|
| <input type="checkbox"/> Site Plan Review Checklist and Application | <input type="checkbox"/> Conditional Use Application |
| <input type="checkbox"/> Public Hearing Application | <input type="checkbox"/> Street/Alley Closing |
| <input type="checkbox"/> Variance Application | <input type="checkbox"/> Major Subdivision |
| <input type="checkbox"/> Rezone Application | <input type="checkbox"/> Minor Subdivision |
| <input type="checkbox"/> Certificate of Appropriateness (Historic) | <input type="checkbox"/> Building Permit Application |
| <input type="checkbox"/> Privilege Tax License | <input type="checkbox"/> Sign Permit |

Pre-application meeting notes are provided as a courtesy by staff during pre-application meetings. These notes are not exhaustive. All Land Development Codes and City Ordinances apply, even if not listed during a pre-application meeting.



Staff Present:

Nathan Satcher (Senior Planner), Kevin Bates (Building Official),
Shawn Whitaker (Fire Marshal), Jerald Little (Engineering Technician),
Meridian McDaniel (Planner I), Noah Gower (Engineering
Technician).

STATUS: UPDATE APPLICATION & RESOLVE STREET ISSUES

Project: New Build Homes

Address: 609 Miller Street

Presented by: Jeffrey Mack and Percy Mack

Use Designation: Dwelling, Single-Family

PPIN: 26645

Flood Zone: X

Historic District: N/A

Elevation Certificate Required: No

County: Forrest

Ward: 4

Construction type: New Construction

Zoning: R-1C

Estimated Cost: TBD

Project Summary:

- Applicant Summary
 - Wanting to subdivide the lot to put two houses on the lots. All bedrooms are all now upstairs. Goal is to rent to students. 1294 sqft.
- Planning
 - Staff recommendation to hold moving forward until street issue is resolved.
 - Public Hearing Advertisement:
 - Jeffrey Mack, Applicant, requests the following variances for a proposed subdivision and house construction for an R-1C zoned property on the corner of Miller Street and Stadium Drive (PPIN 26645, Ward 4, Forrest County):
 - Lot 1 (north)
 - Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft
 - Variance from the minimum front setback requirement of 20ft to allow for 17ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the minimum rear setback requirement of 25ft to allow for 20.5ft
 - Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%
 - Lot 2 (south)
 - Variance from the minimum lot size requirement of 5000sqft to allow 2100sqft
 - Variance from the minimum front setback requirement of 20ft to allow for 17ft
 - Variance from the minimum front setback requirement of 20ft to allow for 2.5ft
 - Variance from the minimum side setback requirement of 10ft to allow for 2.5ft
 - Variance from the maximum impervious surface lot coverage requirement of 50% to allow for 52%
- Building

Pre-application meeting notes are provided as a courtesy by staff during pre-application meetings.

These notes are not exhaustive. All Land Development Codes and City Ordinances apply, even if not listed during a pre-application meeting.

- No comments at this meeting.
- Engineering
 - Stadium Drive—Appears not to be a public street
 - Engineering to double-check that Stadium Drive is not a public street—will get back to the applicant with findings.
 - Applicant would need to obtain an access easement with the school district, which will need to be filed with Forrest County if it is not a public street
 - Contact for Hattiesburg Public Schools- Kimberly Nelms, (601) 582-5078 Ext. 1015
- Fire
 - Not present at this meeting.

NEXT STEPS:

- Additional information
 - Public Hearing Information
 - Update public hearing application
 - As of now, variances are published for the March 4, 2026, at 3:30 pm in the Jackie Dole Sherrill Community Center
- Permits
 - Apply for the permits indicated below

APPLICATIONS REQUIRED:

- | | |
|---|---|
| <input type="checkbox"/> Site Plan Review Checklist and Application | <input type="checkbox"/> Conditional Use Application |
| <input type="checkbox"/> Public Hearing Application | <input type="checkbox"/> Street/Alley Closing |
| <input checked="" type="checkbox"/> Variance Application | <input type="checkbox"/> Major Subdivision |
| <input type="checkbox"/> Rezone Application | <input checked="" type="checkbox"/> Minor Subdivision |
| <input type="checkbox"/> Certificate of Appropriateness (Historic) | <input type="checkbox"/> Building Permit Application |
| <input type="checkbox"/> Privilege Tax License | <input type="checkbox"/> Sign Permit |

Pre-application meeting notes are provided as a courtesy by staff during pre-application meetings. These notes are not exhaustive. All Land Development Codes and City Ordinances apply, even if not listed during a pre-application meeting.



Hattiesburg Board of Adjustment Planning Division

Item B - Staff Report

May 6, 2026

Quick Facts:

Applicant:

Pedesco, Inc./Perry Doleac

Address:

Corner of Byron Street and
Tucker Street

Zoning:

B-5 (Regional Business)

Future Land Use:

Community Business Corridor

Historic District:

N/A

Overlay District(s):

N/A

Flood Zone:

X

Ward:

5

County:

Forrest

PPIN Number(s):

23329

Parcel Number(s):

2-039H-17-070.00



Property Area Image

Applicant's Requests:

- Pedesco, Inc/Perry Doleac, Property Owner/Applicant, requests the following variances at a B-5 zoned property located at 1725 Byron Street (PPIN 23329, Forrest County, Ward 5):
 - A Variance from the fence height requirement of a maximum of 4ft in a front yard to instead allow for 8ft.
 - A variance from the requirement of the maximum outdoor equipment storage space of 50% of the side and rear lot area to instead allow for 100%.

Background and History

The Applicants met with staff during a pre-application meeting in March of 2026. The applicant acquired the additional property to expand their existing operations and provide space for equipment storage associated with the contractor's office. The proposed use of the property for equipment storage is intended to function as an accessory to the existing business. The applicant proposed combining the existing parcel with the newly acquired lot, clearing the lot, installing crushed aggregate (dustless gravel) and 8ft fencing, and providing access through the existing site rather than directly from the street. The site is zoned B-5 (Regional Business), which permits the use of a contractor's office but has certain conditions that must be met.



Surrounding Area Image

The use of gravel as a surface material in the B-5 district requires conditional use approval, and the proposed amount of outdoor storage space of the entire lot exceeds the 50 percent maximum allowed, which triggers the need for a variance. The height of the proposed 8ft fence also requires a variance due to the lot's corner lot orientation. The applicant is seeking conditional use approval from the Planning Commission and two variances from the Board of Adjustment.

Future Land Use:

Community Business District The Community Business District is primarily a non-residential district located along the city's major roadways. In this district, certain residential and non-residential land uses may be found that exhibit suburban development patterns.



Surrounding Area Image

District Characteristics The characteristics of this district include the following: moderate-density single-family residences and certain two-family and multi-family uses; mixed-use buildings and developments; suburban-style, higher-intensity business developments that provide services to the entire community; and less-intensive commercial

uses than are found in the Regional Business District.

District Land Uses The following land uses should be found in this district: residential uses; public and quasi-public uses, such as churches and schools; and general indoor retail, service and office land uses that do not require the outdoor storage of goods or equipment.

Codes and Regulations

SECTION 4: Zoning Districts Established

4.5.12 B-5 Regional Business District

The purpose of the B-5 District is to provide retail, personal, and business services, offices, and financial services in locations with convenient access to the region's population, consistent with comprehensive planning policies. This district is consistent with the Regional Business District in the Comprehensive Plan.

SECTION 5: Use Regulations

5.4.17.3 A maximum open storage space of 50% of the side and rear lot area is allowed for business and industrial equipment and materials.

SECTION 7: Dimensional Standards

7.9.1.7 The maximum height of fences and walls shall be four feet above grade when located in a front yard. Otherwise, the maximum height of a fence is eight feet.

Considerations and Basis for Approval

Option:

- Recommend approval or denial of the following variances
 - A Variance from the fence height requirement of a maximum of 4ft in a front yard to instead allow for 8ft.
 - A variance from the requirement of the maximum outdoor equipment storage space of 50% of the side and rear lot area to instead allow for 100%.



Property Area Image

Basis for Approval:

1. Hardship.
 - a. The hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant.
 - b. There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.
2. Special Privilege.
 - a. A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.
3. Literal Interpretation.
 - a. The literal interpretation of the provisions of the regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant
4. Reasonable Use.
 - a. The applicant cannot make reasonable use of the property without the requested variance.
5. Minimum Required.
 - a. The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.
6. Conformance with the Purposes of this Code.
 - a. The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code

Conditional Use and Variance Request

~1725 Byron Street (Intersection of Byron St and Tucker Street)

PPIN: 23329, Forrest County, Ward 5



Zoning Districts

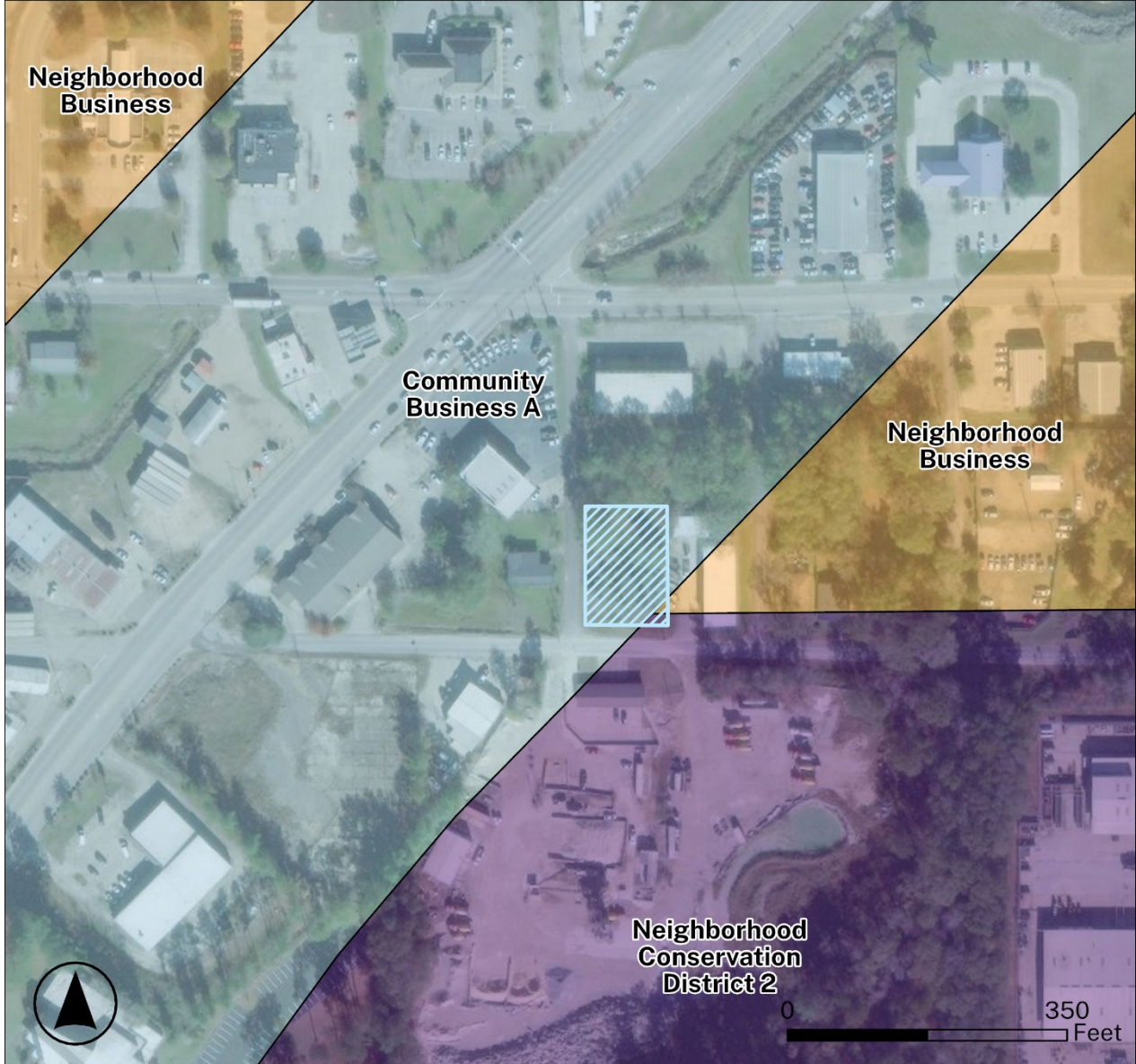
- B-1
- B-5
- I-1
- I-2
- Subject Property



Microsoft Vantage, GIS Division, State and Federal Programs
I-1 I-2

Conditional Use and Variance Request

~1725 Byron Street (Intersection of Byron St and Tucker Street)
PPIN: 23329, Forrest County, Ward 5



Future Land Use

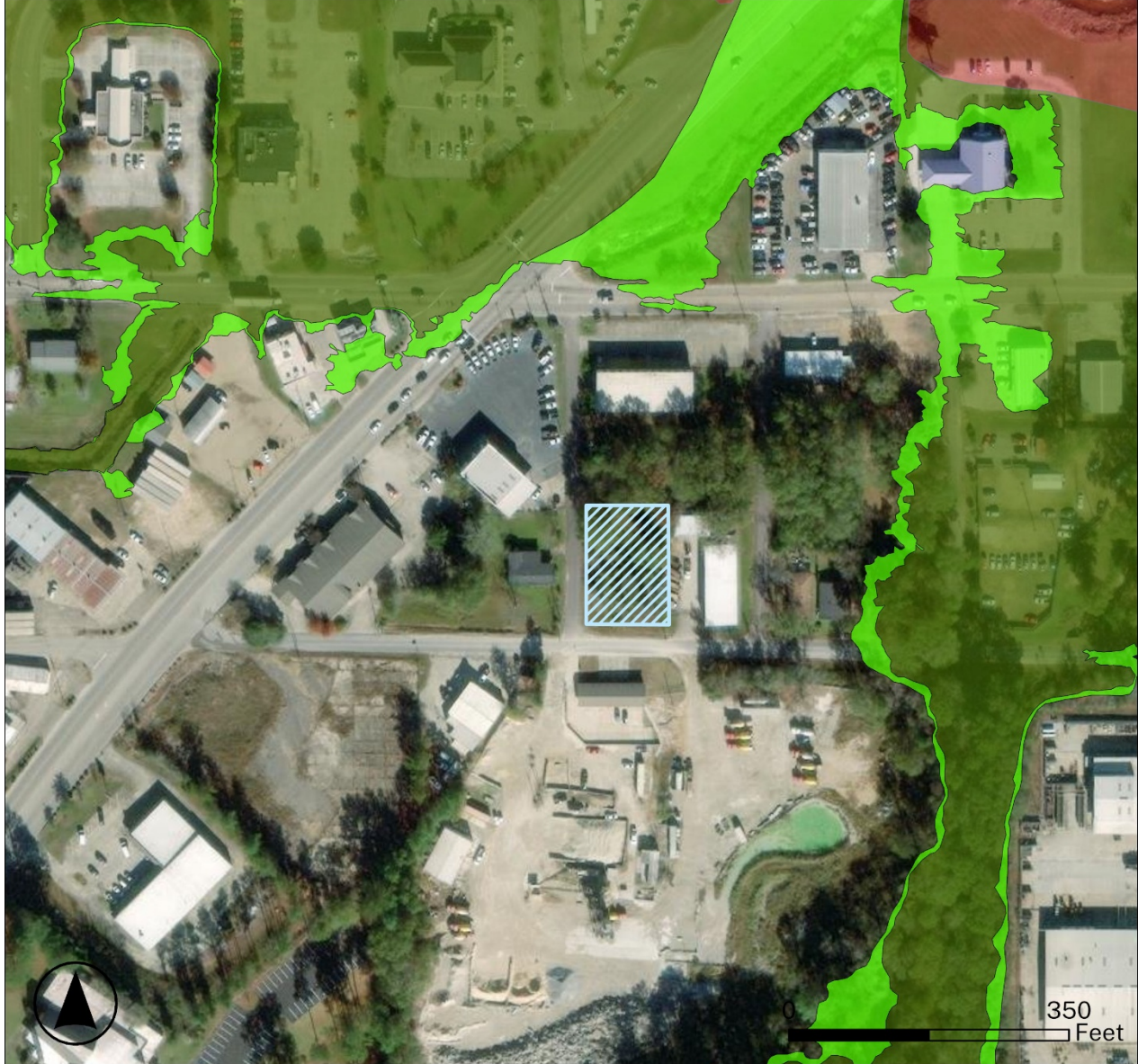
- Community Business A
- Neighborhood Business
- Neighborhood Conservation District 2
- Subject Property



Microsoft, Vantor, GIS Division, State and Federal Programs, Esri, Inc. © 2023

Conditional Use and Variance Request

~1725 Byron Street (Intersection of Byron St and Tucker Street)
PPIN: 23329, Forrest County, Ward 5



Flood Zones

- FLOODWAY AREA IN ZONE AE
- ZONE A (100 yr flood - no elevation)
- ZONE AE (100 yr flood w / elevation)
- ZONE SX (500 yr flood)
- Subject Property

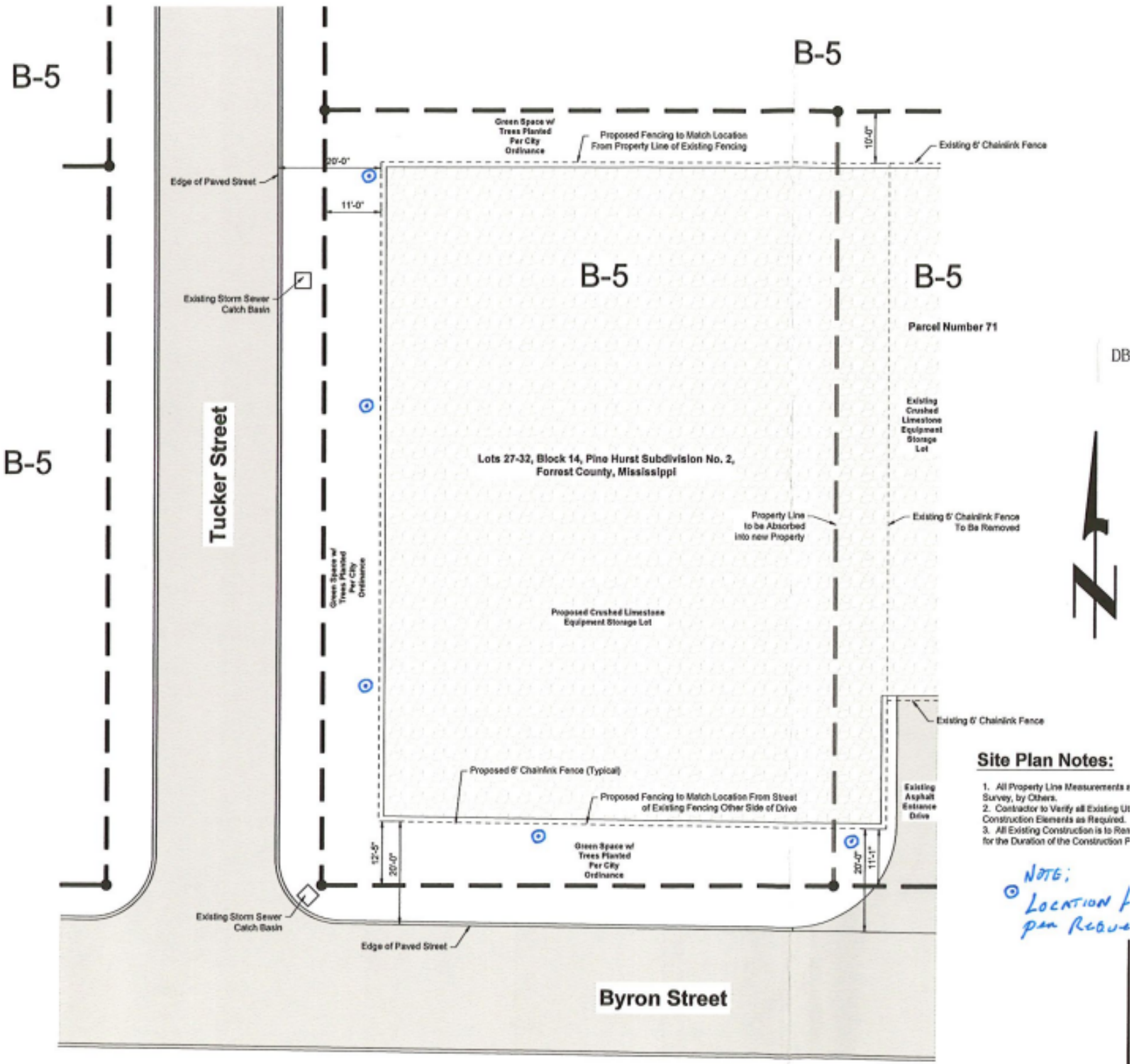


Microsoft, Vantor, GIS Division, State and Federal Program

Site Aerial



Site Plan



- Site Plan Notes:**
1. All Property Line Measurements a Survey, by Others.
 2. Contractor to Verify all Existing UT Construction Elements as Required.
 3. All Existing Construction is to Rem for the Duration of the Construction P

NOTE:
 (C) LOCATION & PER REQ

101 Site Plan
 SCALE 1" = 10'-0"

I-1



Application for Public Hearing

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

NOTE:

- Fill this application out **IN FULL** with what applies to your application
- Refer to the hattiesburgms.com/planning for Land Development Code and GIS map. Access via link or QR code



Applicant Information

Name Applicant: Pedesco, Inc. Project Name: Equipment & Storage Lot

Municipal Address of Site: Tucker Street x Bryon Street PPIN #: 023329

Parcel Number(s): 2-039H-17-070.00

Type of Public Hearing	Additional Information Needed:
<input checked="" type="checkbox"/> Variance (fill out pages 7 & 8)	<input type="checkbox"/> Sign <input type="checkbox"/> Setback <input type="checkbox"/> Off-Site Parking <input type="checkbox"/> Lot Width <input type="checkbox"/> Lot Coverage Area <input type="checkbox"/> Buffer <input type="checkbox"/> Open Space <input checked="" type="checkbox"/> Other: <u>Storage, Fence</u>
<input type="checkbox"/> Rezoning (fill out page 11)	Existing Zoning: _____ Proposed Zoning: _____
<input checked="" type="checkbox"/> Conditional Use (fill out pages 9 & 10)	<input type="checkbox"/> Automotive Filling Station <input type="checkbox"/> Digital Billboard, New <input type="checkbox"/> Digital Billboard, Replacement <input type="checkbox"/> Telecommunications <input type="checkbox"/> Restaurant <input type="checkbox"/> Solar Farm <input checked="" type="checkbox"/> Other: <u>Surface</u>

Other Application types:

- | | |
|--|---|
| <input type="checkbox"/> Subdividing of a lot, Parcel, or Tract (fill out page 12)
<input type="checkbox"/> Street or Alley Renaming (fill out pages 13 & 14)
<input type="checkbox"/> Vacating Street or Alley (fill out pages 13 & 14) | <input type="checkbox"/> Text Amendment
<input type="checkbox"/> Overlay District
<input type="checkbox"/> Planned Mixed-Use District (PMU) |
|--|---|

For Staff Only:				
Zoning:	Historic District:	Flood Zone:	Ward:	
			<input type="checkbox"/> 1	<input type="checkbox"/> 2
			<input type="checkbox"/> 3	<input type="checkbox"/> 4
			<input type="checkbox"/> 5	
Project Number:			Received:	
PPIN # or Parcel #:				



Application for Public Hearing

City of Hattiesburg – Planning Division
PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

Public Hearing Petitioner Information:

Deadline for applicant to file petition: March 30, 2026
Hattiesburg Planning Commission Meeting Date: May 6, 2026
Hattiesburg Board of Adjustment Meeting Date: May 6, 2026
City Council Agenda Review Date – (you or your representative should attend): May 18, 2026
City Council Meeting (Vote) Date – (you or your representative may attend): May 19, 2026

- There is a 10-day appeal period, required by State Law, between the Planning Commission Meeting and/or Board of Adjustment Meeting and the City Council Meeting – appeals must be filed within this 10-day period.
 - o There is an additional 10-day appeal period, required by State Law, after the City Council Meeting, for all Variances and Conditional Use Permit which ends _____ and a 30-day wait period for Zoning or Street closing/re-naming, PMUs, PRDs, PUDs which ends _____.
- So, if approved by the City, no final site plan review approvals or building permits could be issued prior to these dates.

*Dates and times are subject to change. If an appeal is filed or the petition is tabled for any reason at any stage, the above-listed dates would need to be revised. *

Public Hearing Application Checklist

The following paperwork **MUST** be attached to this application:

- Site Diagram (11” x 17” preferred size): Drawing to scale prepared by professional engineer/surveyor showing lot dimensions, existing/proposed building, signs, parking areas, etc. (Different standards may be accepted only per approval from staff)
- Site & Design Review Committee, if needed
- Copy of entire Warranty Deed (filed and recorded at the courthouse) with legal description granting title to the current owner. (If the Warranty Deed covers a larger piece of property than the current project, a legal description for this project site only may also be required)
- Electronic/Digital copy of legal description **REQUIRED** for all public notices, saved as Word or text document OR emailed to planning@hattiesburgms.com
- An affidavit (pages 3 & 4) attesting that the applicant or representing party (if other than the owner) is acting on behalf of the owner(s) of record. The affidavit must be sworn to before a notary public or other appropriate official. (Included in owners signature page, or may be a separate document).
- Variance application only:** A letter of approval/denial from all adjoining property owners must be obtained and submitted with the application
- Other documents needed (if relevant):
 - Maps of digital billboard removal sites
 - Maps of digital billboard replacement sites
 - Documentation on measurements
 - Other: _____
- Payment to the City of Hattiesburg for filing a public hearing application in the amount of \$ 425.00



Application for Site Plan Review

City of Hattiesburg – Planning Division
 PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

The following fees are an excerpt from Ordinance No. 2977, adopted January 22, 2008, as amended.


<u>Public Hearing Fees</u>	
Public Hearing Type	Fees Associated
Variance Variance applications include one Concept Site Plan Review and one Variance request	\$175.00 per application. \$50.00 for each additional variance.
Street / Alley Naming or Re-Naming	\$300.00 per application. \$100.00 per required street name sign if approved* (*Fees for replacement street signs shall be paid after City Council approval but prior to the effective date.)
Street / Alley Closing	\$300.00 per application.
Conditional Use	\$200.00 per application.
Zoning Change	\$400.00 per application. *see PUD or PRD & zoning package rate)
Planned Unit Development (PUD) or Planned Residential Development (PRD) with zoning change package	\$600.00 per package.
Subdivision of Land (Preliminary Plats) Note: Final Plats should be submitted to the governing body for approval within 12 months of approval of preliminary plats.	\$225.00 per application. \$10.00 per each additional created lot (** see PUD or PRD & Subdivision of Land package rate)
Planned Unit Development (PUD) or Planned Residential Development with Subdivision of Land Package**	\$500.00 per application. \$10.00 per each additional created lot (** see PUD or PRD & Subdivision of Land package rate)
Change in Land Development Code Text	\$200.00 per application.
Appeal Fees for Proponent or Opponent appeals to City Council *Exempt from fees – Established Neighborhood Association*	\$50.00 per appeal.
Cancellation/Re-notification fee on any public hearing process (Planning Commission or City Council) that is tabled or cancelled at the owner/developer's Request	\$50.00 (per each 100 mailing labels)

OTHER PROCESSES MAY HAVE ADDITIONAL FEES

Make all checks payable to the City of Hattiesburg

I hereby certify that I have completed and attached the above-required documents, information, and fees.

Print Name: Perry E. Doleac

Signature: 

Updated Version 05/22/2025

FOR VARIANCE APPLICANTS:

The Board of Adjustment has the responsibility to hear and make recommendation on requests for variances to the requirements of this Code (per Section 11.4). Section 12.4.1 Variances are departures from the standards of the Land Development Code, except land use, which will not be contrary to the public interest and where, owing to conditions peculiar to the property and not as a result of the action of the applicant, a literal enforcement of this Code would result in unnecessary and undue hardship.

The following conditions must be met before a variance can be recommended.

Approval Criteria.

A variance is not a right, but a privilege that property owners meeting the following criteria may request. These criteria are to be used to consider all variance requests. It shall be the burden of the applicant to prove that the request meets these criteria. Use this worksheet or format your own to demonstrate the following criteria.

1. **Hardship.** (a) the hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant. (b) There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.

We need 100% of the property for the purpose of equipment and material. We purchased the property specifically for that reason, due to space constraints on our existing property.

2. **Special Privilege.** A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.

We would not consider this special privilege to us or anyone else within this zoning district if the need is valid.

3. **Literal Interpretation.** The literal interpretation of the provision of the regulation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant.

If our request were to be denied, it would cause hardship to necessary need for a secure site for our equipment and materials.

4. **Reasonable Use.** The applicant cannot make reasonable use of the property without the requested variance.

We do not intend to use this site for anything other than what we have stated above.

5. **Minimum Required.** The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.

We respectfully request that the variance be meant at the requested requirements.

6. **Conformance with Purpose of this Code.** The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code.

We understand and will comply with all codes as they pertain to this variance.

12.4.1.2 Conditions of Approval. In recommending the granting of a variance, the Board of Adjustment may require appropriate conditions and safeguards in conformity with this Code. Violation of such conditions and safeguards, when made a part of the terms under which a variance is granted, shall be deemed a violation of the Code. The recommendation of the Board Adjustment shall be presented to the City Council for final action.

FOR VARIANCE APPLICANTS:

The Board of Adjustment has the responsibility to hear and make recommendation on requests for variances to the requirements of this Code (per Section 11.4). Section 12.4.1 Variances are departures from the standards of the Land Development Code, except land use, which will not be contrary to the public interest and where, owing to conditions peculiar to the property and not as a result of the action of the applicant, a literal enforcement of this Code would result in unnecessary and undue hardship.

The following conditions must be met before a variance can be recommended.

Approval Criteria.

A variance is not a right, but a privilege that property owners meeting the following criteria may request. These criteria are to be used to consider all variance requests. It shall be the burden of the applicant to prove that the request meets these criteria. Use this worksheet or format your own to demonstrate the following criteria.

1. **Hardship.** (a) the hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant. (b) There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.

We would need to increase the fence allowance from 4ft to 8ft
for the purpose of security. The equipment and materials to be
in this area are valuable and need to be adequately secured.

2. **Special Privilege.** A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.

We would not consider this to be a special privilege to us or
anyone else within this zoning district if the need is valid.

3. **Literal Interpretation.** The literal interpretation of the provision of the regulation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant.

We are in great need for additional space to store our equipment
and materials. But it is vital that the space is secure.

4. **Reasonable Use.** The applicant cannot make reasonable use of the property without the requested variance.

We do not intend to use this site for any of purpose than
that which we have stated.

-
-
5. **Minimum Required.** The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.

We respectfully request that the variance be meant at the requested requirements.

6. **Conformance with Purpose of this Code.** The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code.

We understand and will comply with all codes as they pertain to this variance.

12.4.1.2 Conditions of Approval. In recommending the granting of a variance, the Board of Adjustment may require appropriate conditions and safeguards in conformity with this Code. Violation of such conditions and safeguards, when made a part of the terms under which a variance is granted, shall be deemed a violation of the Code. The recommendation of the Board Adjustment shall be presented to the City Council for final action.

FOR CONDITIONAL USE APPLICANTS:

Section 12.3.3.1 Compliance Required. Uses requiring Planning Commission approval as noted in the Tables of Uses in Section 5 of this Code, shall be approved subject to this Section.

Any application for such use must comply with: all applicable standards that apply to similar uses and properties in the zoning district in general, the specific conditions listed for that use in Section 5, and the following criteria. *Where conflicts exist, the Planning Commission shall determine which criteria apply on a case-by-case basis.*

1. **Does this application meet the conditions set forth in Section 5 of the LDC for the requested use? If yes, please explain:**
Yes, we believe this application meets the conditions as we will keep all equipment and materials within suggested parameters as well as screening the area as recommended.

2. **Describe the effects the proposed use of utilities and facilities will have on the community.**
There will be no additional utilities or facilities.

3. **Describe how the size of the site is appropriate for the proposed use.**
The property was purchased for the sole purpose of adding the necessary space only to store equipment and materials as we have need, as to not overload our existing property/lot.

4. **Will there be any additional pedestrian or vehicular traffic generated by the proposed use? If yes, please explain:**
No, there will be no additional traffic, pedestrian or vehicular.

5. **Will there be any elevation in the noise level resulting from this proposed use? If yes, please explain:**
N/A

6. What is the expected number of customers/employees per day?

There will be no expected customers. And only employees as they have need to retrieve equipment or materials.

7. Is proposed use compatible with surrounding uses and design? If yes, please explain:

Yes, as the area already has established industrial areas.

8. **Parking requirements:** Commercial/Industrial: Paved parking will be provided for N/A vehicles, and _____ ADA vehicles; with _____ loading spaces.

For more information, please reference the Land Development Code Section 12.3.3.2

Refer to the hattiesburgms.com/planning for Land Development Code and GIS map. Access via link or QR code.





DEED

Bk:1494 Page:197-198
RCD: 02/20/2026 @ 2:25:12:PM
FORREST COUNTY, MS
LANCE C. REID CHANCERY CLERK

Prepared by and return to:

Joseph M. Gianola, Jr., PLLC
Joseph M. Gianola, Jr. (MSB#101972)
63 98 Place Boulevard
Hattiesburg, Mississippi 39402
(601) 336-2680

**INDEXING INSTRUCTIONS: Lots 27-32, Block 14, Pine Hurst Subdivision No. 2,
Forrest County, Mississippi**

STATE OF MISSISSIPPI

COUNTY OF FORREST

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten and No/100 Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt, adequacy and sufficiency of all of which is hereby irrevocably acknowledged and confessed, the Grantor,

PTL INVESTMENTS, LLC,
a Mississippi limited liability company,
1950 Lincoln Road
Hattiesburg, Mississippi 39402
(601) 520-0006

does hereby grant, bargain, sell, convey and warrant unto the Grantee,

DOLEAC AND DOLEAC, LLC,
a Mississippi limited liability company
P.O. Box 16563
Hattiesburg, Mississippi 39404
(601) 270-1020

the following described real property lying and being situated in Forrest County, Mississippi, and being more particularly described as follows, to-wit:

Lots 27-32, inclusive, of Block 14 of the Pine Hurst Subdivision No. 2 of the City of Hattiesburg, Forrest County, Mississippi, as per the map or plat thereof on file in the office of the Chancery Clerk of Forrest County, Mississippi; together with all improvements thereon and appurtenances thereunto belonging.

This conveyance and the warranty hereof is subject to any and all prior and outstanding leases, exceptions, reservation and/or conveyances of oil, gas and/or other minerals and any geothermal energy resources lying in, on and under the above described real property.

This conveyance and the warranty hereof is subject to any and all other easements and rights-of-way, whether of record or of use, which affect the real property hereby conveyed.

This conveyance and the warranty hereof is subject to any and all Covenants and Restrictions of record.

WITNESS THE SIGNATURE of the Grantor on the date of its respective acknowledgement.

PTL INVESTMENTS, LLC,
A Mississippi limited liability company

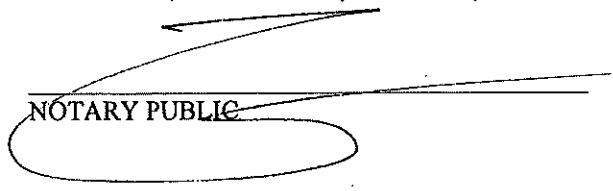
By: 
Thomas P. McCaffrey, Member

STATE OF MISSISSIPPI

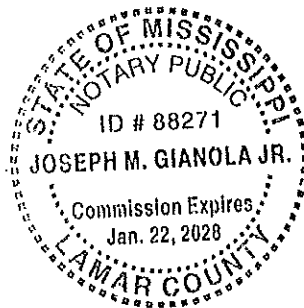
COUNTY OF FORREST

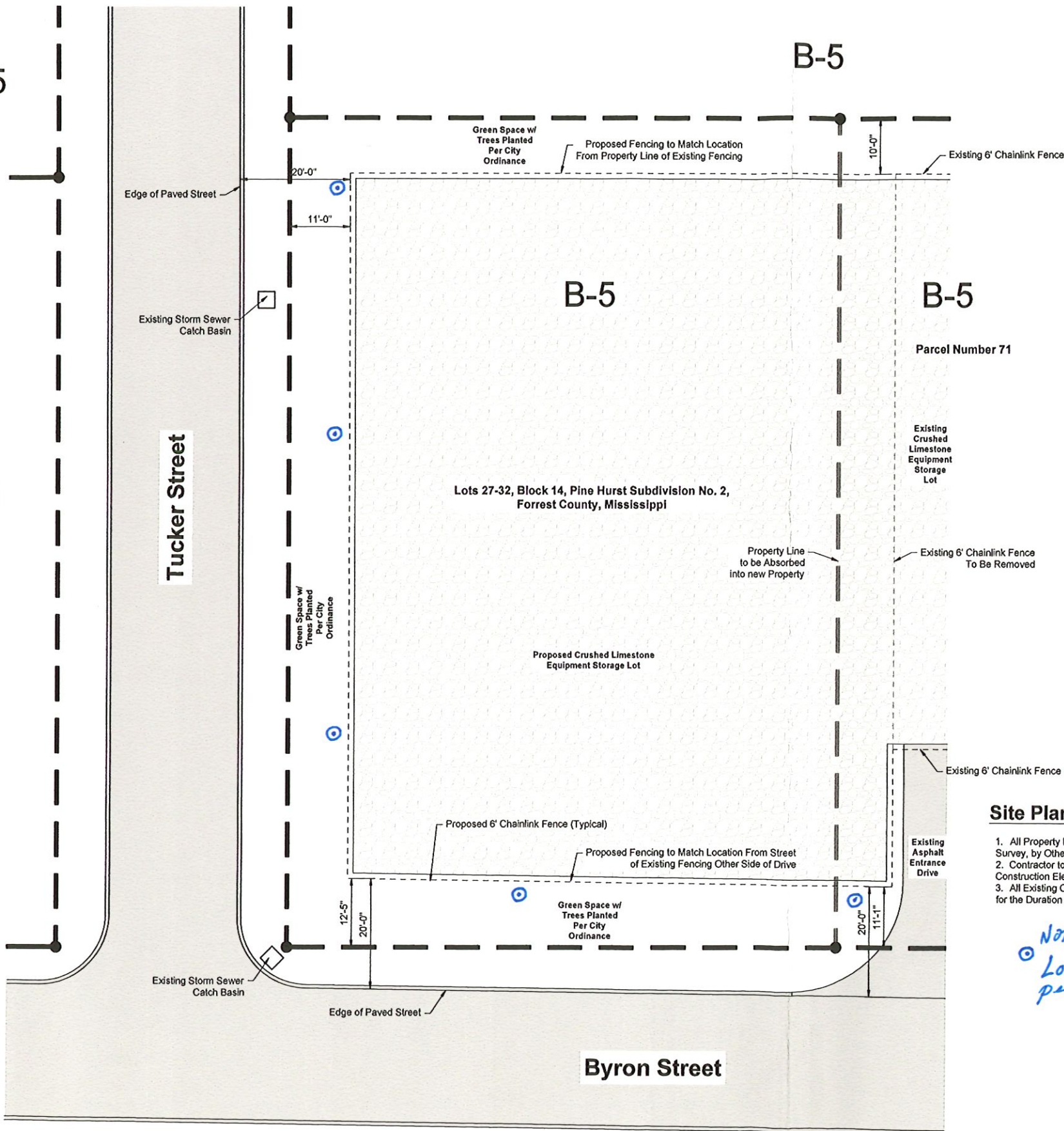
THIS DAY personally came and appeared before me, the undersigned authorities in and for the jurisdiction aforesaid, the within named Thomas P. McCaffrey, who acknowledged to me that he is the Member of PTL Investments, LLC, a Mississippi limited liability company, and as its act and deed he delivered the above and foregoing instrument, after first having been duly authorized by said limited liability company so to do.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 19th day of February, 2026.


NOTARY PUBLIC

My Commission Expires:





Site Legend	
—	Property Line
- - -	Setback Line
- - - -	Batter Board Lines
▬▬▬	Concrete
▬▬▬▬▬	Outline of Residence
▬▬▬▬▬▬▬	Paved Road
●	Property Corner
⊙	TREES

Lot Setbacks	
Front:	30'-0"
Rear:	0'-0"
Sides:	0'-0" or 10'-0"
Other:	N/A

Pedasco, Inc.
 DBA: **Perry Doleac Electric Company**
Proposed Staging Yard Addition
2000 Byron Street
Hattiesburg, MS

Site Plan was Derived From Digital Imaging. All Information Shall be Verified on Site for Compliance with City of Hattiesburg Zoning Requirements.

Site Plan Notes:

1. All Property Line Measurements are Approximate and Derived From Existing Survey, by Others.
2. Contractor to Verify all Existing Utilities Prior to Construction and Adjust Construction Elements as Required.
3. All Existing Construction is to Remain on Parcel 71. Interior Fence Shall Remain for the Duration of the Construction Process and be Removed Prior to Completion.

*NOTE:
 ⊙ LOCATION for trees on lot per Request*

General Note:

Farve Residential Service, LLC. Not Being an Architectural or Engineering Firm Assumes NO Liability for Structural or Architectural Design Integrity. Great Care and Effort Has Been Made in the Development of These Plans and the Completion of These Construction Documents. Farve Residential Service, LLC Highly Recommends That These Plans be Reviewed by a Licensed Structural Engineer and/or an Architect, in Addition to Your Local Building Officials Prior to Construction. Additional Engineering may be Required to Comply With Seismic, Wind, and Other Special Conditions Required by Local Code. If an Error and/or Omission Does Occur, it is the Sole Responsibility of the Contractor to Remedy the Error and/or Omission at His Own Expense and not the Responsibility of the Drafting Service. Contractor is Responsible for Verification of Dimensions in the Field and Shall Build the Structure in Strict Accordance With the 2018 International Building Code Series. All Foundation and Structural Plans and Details are General in Nature and Shall be Reviewed by a Structural Engineer Prior to Construction.

101 Site Plan
 SCALE 1" = 10'-0"

I-1



FARVE RESIDENTIAL SERVICE, LLC
 263 Farve Road
 Sumrall, MS 39482
 Craig Farve - Owner/Operator
 Phone: 769-250-0958

Perry Doleac Electric Co. 2000 Byron Street Hattiesburg, Mississippi	Proposed Staging Yard Addition Proposed Partial Site Plan
March 2, 2026	FRS-26-0032
Sheet 1 of 1	



Hattiesburg Board of Adjustment Planning Division

Item C - Staff Report

May 6, 2026

Quick Facts:

Applicant:

Felicia McIntyre

Address:

Located on N Hattiesburg
Avenue

Zoning:

R-1C (Single-Family
Residential)

Future Land Use:

Neighborhood Conservation
District 2

Historic District:

N/A

Overlay District(s):

N/A

Flood Zone:

X

Ward:

5

County:

Forrest

PPIN Number(s):

47150

Parcel Number(s):

2-042F-26-154.01



Applicant's Requests:

Felicia McIntyre, Applicant/Property Owner, requests a variance from the minimum lot size requirement for an A-2 zoned property of 43,560 sqft (1 acre) to allow for 21,780 (0.5 acre) for a property located on N Hattiesburg Avenue (PPIN 47150, Forrest County, Ward 5).

Background and History

Staff met with the applicant on two occasions for pre-application meetings to discuss housing options for her property at on N Hattiesburg Avenue. The applicant told the staff that she had purchased 0.5 acres and wanted to place a mobile home on the property as her home to ensure safe, adequate housing.



Property Area Image

Staff let her know that her lot is zoned R-1C (Single Family Residential) and that mobile homes are not permitted in that zoning. Staff explained that the property would need to be rezoned to an agricultural zoning classification to allow a mobile home, and the applicant is pursuing a zoning change to A-2 (Agricultural Residential), which allows mobile homes. Staff also went over the purchase of the land, which was a subdivision of land from the parent parcel, which was also located in a platted subdivision. Since the land was subdivided and altered an existing plat, the subdivision would be required to go to a public hearing for approval. Staff explained that a variance would be required because her lot was smaller than the minimum lot size of 43,560 sq ft in an A-2 zone. The applicant is also pursuing a variance from the minimum lot size requirement for A-2 zoning, requesting that the minimum lot size be her lot at 21,780 sq ft (0.5 acre). The rezoning request is contingent on the variance approval.



Surrounding Area Image

Future Land Use:

Neighborhood Conservation District 2 – Suburban Neighborhoods: This Neighborhood Conservation District is primarily a residential district located in conventional subdivisions. In this district, large tracts of land were platted as single-family residential neighborhoods. Other than schools and churches, non-residential land uses are not typically found in these districts.

District Characteristics: The characteristics of this district include the following: low-density or moderate-density single-family residences; building lots with front and side yards with standard depths; and a lower overall density of development than downtown or historic neighborhoods.

District Land Uses: The following land uses should be found in this district: single-family residential uses; public and quasi-public uses, such as churches and schools; small neighborhood parks and tot lots.

Codes and Regulations

SECTION 4: Zoning Districts Established

4.5.2 A-2 Agricultural Residential District. The purpose of the A-2 Agricultural District is to permit low density single-family residential development along with restrictive agricultural uses. This district is consistent with the Rural Residential / Agricultural District in the Comprehensive Plan. The district is intended to encourage and protect large lots, open space and low density population.

4.5.5 R-1C Single-Family Residential District. The purpose of the R-1C District is to permit single-family residential uses with related recreational, religious and educational facilities. This district is consistent with the Neighborhood Conservation 1 and 2 districts in the Comprehensive Plan. This zoning district encourages protected lower density residential neighborhoods with only compatible supporting institutional uses and open space.

SECTION 6: Dimensional Standards and Measurements

District	Minimum Lot Size in SF/ Width at Setback	Max. Dwelling Units	Max. Floor Area Ratio	Setbacks in feet				Max. Height*	Max. Imperious Surface Lot Coverage	Buffer in Feet
				Min. Front	Max. Front	Min. Side	Min. Rear			
A-1	130,680 / 100	1 per lot	-	25	-	15	25	35 feet or 3 stories	35%	-
A-2	43,560 / 100	1 per lot	-	25	-	15	25	35 feet or 3 stories	50%	-
R-1A	10,000/ 50	1 per lot	-	30	-	10	25	35 feet or 3 stories	50%	-
R-1B	7,500/ 50	1 per lot	-	25	-	10	25	35 feet or 3 stories	50%	-
R-1C	5,000/ 50	1 per lot	-	20	-	10	25	35 feet or 3 stories	50%	-

Considerations and Basis for Approval

Option:

Recommend approval or denial of the variance from the minimum lot size requirement for an A-2 zoned property of 43,560 sqft (1 acre) to allow for 21,780 (0.5 acre) for a property located on N Hattiesburg Avenue (PPIN 47150, Forrest County, Ward 5).



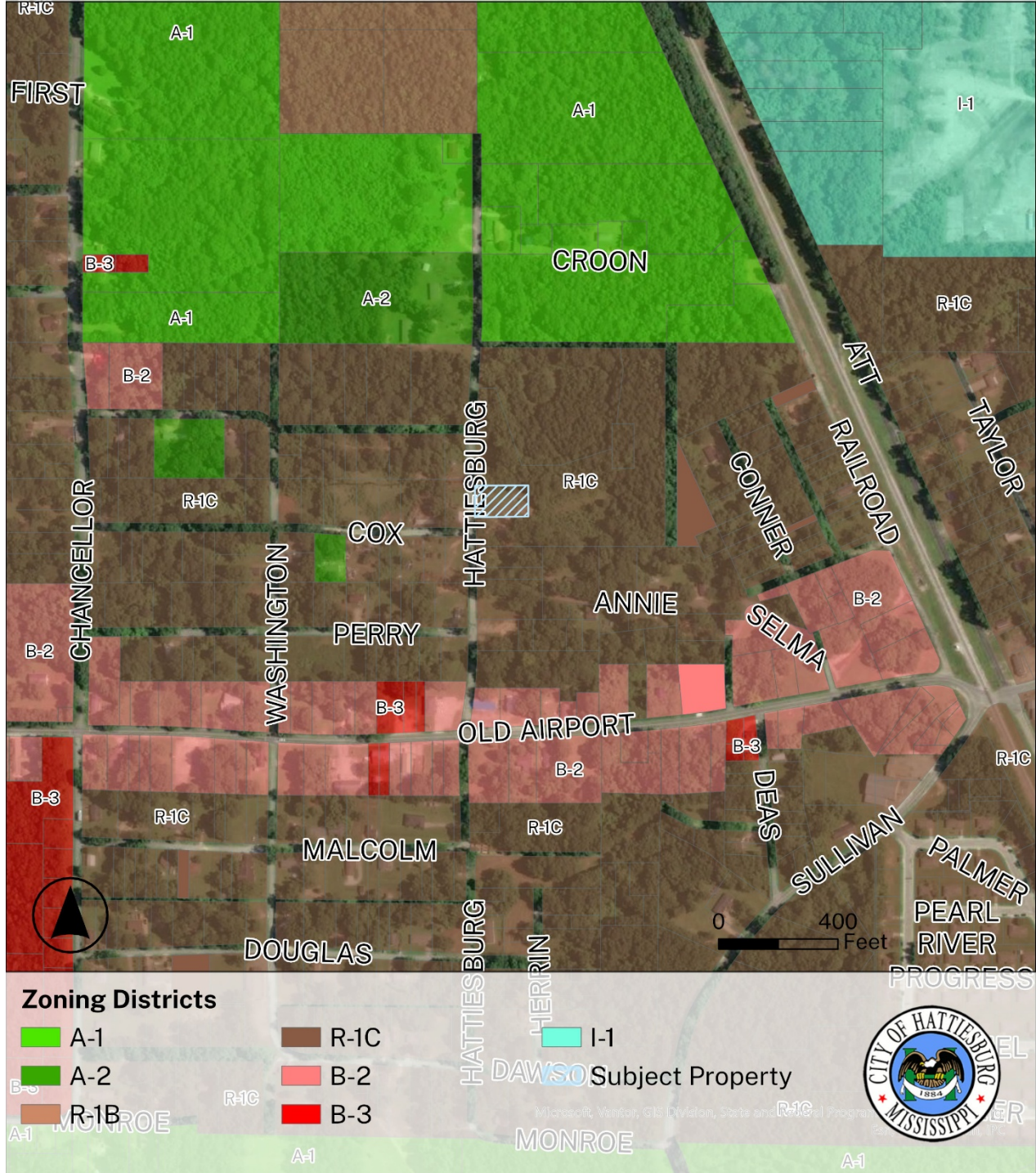
Property Area Image

Basis for Approval:

1. Hardship.
 - a. The hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant.
 - b. There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.
2. Special Privilege.
 - a. A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.
3. Literal Interpretation.
 - a. The literal interpretation of the provisions of the regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant
4. Reasonable Use.
 - a. The applicant cannot make reasonable use of the property without the requested variance.
5. Minimum Required.
 - a. The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.
6. Conformance with the Purposes of this Code.
 - a. The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code

Rezone Request from R-1C to A-2

North Hattiesburg Avenue (Vacant Property)
PPIN 47150, Forrest County, Ward 5



Rezone Request from R-1C to A-2 with Variance

North Hattiesburg Avenue (Vacant Property)
PPIN 47150, Forrest County, Ward 5

Industrial 2



Future Land Use

- Community Business A
- Industrial 2
- Neighborhood Conservation District 2
- Subject Property



Vendor, GIS Division, State and Federal Programs, City of Hattiesburg, MS



Application for Public Hearing
 City of Hattiesburg – Planning Division
 PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

NOTE:

- Fill this application out IN FULL with what applies to your application
- Refer to the hattiesburgms.com/planning for Land Development Code and GIS map. Access via link or QR code



Applicant Information

Name Applicant: Felicia McIntyre Project Name: _____

Municipal Address of Site: _____ PPIN #: 47150

Parcel Number(s): _____

Type of Public Hearing	Additional Information Needed:
<input checked="" type="checkbox"/> Variance (fill out pages 7 & 8)	<input type="checkbox"/> Sign <input type="checkbox"/> Setback <input type="checkbox"/> Off-Site Parking <input type="checkbox"/> Lot Width <input checked="" type="checkbox"/> Lot Coverage Area <input type="checkbox"/> Buffer <input type="checkbox"/> Open Space <input type="checkbox"/> Other: _____
<input checked="" type="checkbox"/> Rezoning (fill out page 11)	Existing Zoning: <u>R-1C</u> Proposed Zoning: <u>A2</u>
<input type="checkbox"/> Conditional Use (fill out pages 9 & 10)	<input type="checkbox"/> Automotive Filling Station <input type="checkbox"/> Digital Billboard, New <input type="checkbox"/> Digital Billboard, Replacement <input type="checkbox"/> Telecommunications <input type="checkbox"/> Restaurant <input type="checkbox"/> Solar Farm <input type="checkbox"/> Other: _____

Other Application types:

- Subdividing of a lot, Parcel, or Tract (fill out page 12)
- Text Amendment
- Street or Alley Renaming (fill out pages 13 & 14)
- Overlay District
- Vacating Street or Alley (fill out pages 13 & 14)
- Planned Mixed-Use District (PMU)

For Staff Only:			
Zoning: <u>R-1C</u>	Historic District: <u>N/A</u>	Flood Zone: <u>X</u>	Ward: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input checked="" type="checkbox"/> 5
Project Number: <u>Zone - 000 795 - 2026</u>		Received: <u>DAF</u> <u>3-31-26</u>	
PPIN # or Parcel #: <u>47150 & 12337</u>			

parent parcel ppin #: 12337

Updated Version 05/22/25

OWNER AFFIDAVIT PAGE

THIS PAGE MUST BE SIGNED IN FRONT OF A NOTARY, BY THE OWNER(S) OF THE SUBJECT PROPERTY

WITNESS THE SIGNATURES of the OWNER(s) of the subject property located at

PPIN 47150 - H'burg MS
Street Address City State

on this the 31st day of March, 2026

In the matter of this request, the property owner further authorizes the following named person(s) to represent them at the public hearing on this petition.

on this the _____ day of _____, 20____.

Felicia Watts McIntyre
Property Owner (Print)

[Signature]
Property Owner (Signature)

STATE OF MS

COUNTY OF Forrest

Personally came and appeared before me, the within named Felicia Watts McIntyre,

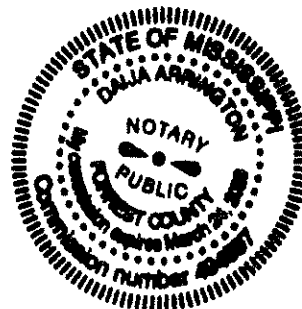
who signed and delivered the above and foregoing instrument as and for their free act and deed on the day and year therein mentioned, and who acknowledge to me that they are the owner(s) of the subject property as described in this Public Hearing Application.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 31st day of March, 2026.

[Signature]
NOTARY PUBLIC

My Commission Expires:

March 24, 2029





Application for Site Plan Review

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

The following fees are an excerpt from Ordinance No. 2977, adopted January 22, 2008, as amended.

<u>Public Hearing Fees</u>	
Public Hearing Type	Fees Associated
Variance Variance applications include one Concept Site Plan Review and one Variance request	\$175.00 per application. \$50.00 for each additional variance.
Street / Alley Naming or Re-Naming	\$300.00 per application. \$100.00 per required street name sign if approved* (*Fees for replacement street signs shall be paid after City Council approval but prior to the effective date.)
Street / Alley Closing	\$300.00 per application.
Conditional Use	\$200.00 per application.
Zoning Change	\$400.00 per application. *see PUD or PRD & zoning package rate)
Planned Unit Development (PUD) or Planned Residential Development (PRD) with zoning change package	\$600.00 per package.
Subdivision of Land (Preliminary Plats) Note: Final Plats should be submitted to the governing body for approval within 12 months of approval of preliminary plats.	\$225.00 per application. \$10.00 per each additional created lot (** see PUD or PRD & Subdivision of Land package rate)
Planned Unit Development (PUD) or Planned Residential Development with Subdivision of Land Package**	\$500.00 per application. \$10.00 per each additional created lot (** see PUD or PRD & Subdivision of Land package rate)
Change in Land Development Code Text	\$200.00 per application.
Appeal Fees for Proponent or Opponent appeals to City Council *Exempt from fees – Established Neighborhood Association*	\$50.00 per appeal.
Cancellation/Re-notification fee on any public hearing process (Planning Commission or City Council) that is tabled or cancelled at the owner/developer's Request	\$50.00 (per each 100 mailing labels)

OTHER PROCESSES MAY HAVE ADDITIONAL FEES

Make all checks payable to the City of Hattiesburg

I hereby certify that I have completed and attached the above-required documents, information, and fees.

Print Name: Felicia McIntyre

Signature: [Handwritten Signature]
Updated Version 05/22/2025



Application for Public Hearing

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

Public Hearing Petitioner Information:

Deadline for applicant to file petition: _____

Hattiesburg Planning Commission Meeting Date: May 6th 2026 @ 1:00 pm

Hattiesburg Board of Adjustment Meeting Date: May 6th 2026 @ 3:30 pm

City Council Agenda Review Date – (you or your representative should attend): May 18th @ 4pm

City Council Meeting (Vote) Date – (you or your representative may attend): May 18th @ 5pm

- There is a 10-day appeal period, required by State Law, between the Planning Commission Meeting and/or Board of Adjustment Meeting and the City Council Meeting – appeals must be filed within this 10-day period.
 - o There is an additional 10-day appeal period, required by State Law, after the City Council Meeting, for all Variances and Conditional Use Permit which ends _____ and a 30-day wait period for Zoning, or Street closing/re-naming, PMUs, PRDs, PUDs which ends _____.
- So, if approved by the City, no final site plan review approvals or building permits could be issued prior to these dates.

*Dates and times are subject to change. If an appeal is filed or the petition is tabled for any reason at any stage, the above-listed dates would need to be revised. *

Public Hearing Application Checklist

The following paperwork MUST be attached to this application:

- Site Diagram (11" x 17" preferred size): Drawing to scale prepared by professional engineer/surveyor showing lot dimensions, existing/proposed building, signs, parking areas, etc. (Different standards may be accepted only per approval from staff)
- Site & Design Review Committee, if needed
- Copy of entire Warranty Deed (filed and recorded at the courthouse) with legal description granting title to the current owner. (If the Warranty Deed covers a larger piece of property than the current project, a legal description for this project site only may also be required)
- Electronic/Digital copy of legal description REQUIRED for all public notices, saved as Word or text document OR emailed to planning@hattiesburgms.com
- An affidavit (pages 3 & 4) attesting that the applicant or representing party (if other than the owner) is acting on behalf of the owner(s) of record. The affidavit must be sworn to before a notary public or other appropriate official. (Included in owners signature page, or may be a separate document).
- Variance application only: A letter of approval/denial from all adjoining property owners must be obtained and submitted with the application
- Other documents needed (if relevant):
 - Maps of digital billboard removal sites
 - Maps of digital billboard replacement sites
 - Documentation on measurements
 - Other: _____
- Payment to the City of Hattiesburg for filing a public hearing application in the amount of \$_____

FOR VARIANCE APPLICANTS:

The Board of Adjustment has the responsibility to hear and make recommendation on requests for variances to the requirements of this Code (per Section 11.4). Section 12.4.1 Variances are departures from the standards of the Land Development Code, except land use, which will not be contrary to the public interest and where, owing to conditions peculiar to the property and not as a result of the action of the applicant, a literal enforcement of this Code would result in unnecessary and undue hardship.

The following conditions must be met before a variance can be recommended.

Approval Criteria.

A variance is not a right, but a privilege that property owners meeting the following criteria may request. These criteria are to be used to consider all variance requests. It shall be the burden of the applicant to prove that the request meets these criteria. Use this worksheet or format your own to demonstrate the following criteria.

1. **Hardship.** (a) the hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant. (b) There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.

The current property that I live in is unsafe do to poor installation and major electrical problems. The foundation has shifted. The property is for property which prevents me from trying to make a safe living space for me and my family.

2. **Special Privilege.** A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.

I am not requesting special privileges. My request to be allowed to put a safe affordable (Mobile Home) on my property

3. **Literal Interpretation.** The literal interpretation of the provision of the regulation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant.

Following the rules I will not be able to put a mobile home on my property and if the request is denied I will not be able to improve my current living condition to have a safe home to live in.

4. **Reasonable Use.** The applicant cannot make reasonable use of the property without the requested variance.

Without the exception I can't use the property as my residence because my home is unsafe and there is no way to improve my situation under the current rules.

Because of ownership, and under the rules there is no way to improve the living conditions.

5. **Minimum Required.** The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.

I am requesting what is necessary to place a mobile home on my property for safe affordable living.

6. **Conformance with Purpose of this Code.** The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code.

Approving this variance would support need of the zoning rules and ~~purpose~~ afford safe living conditions for my family (purpose)

12.4.1.2 Conditions of Approval. In recommending the granting of a variance, the Board of Adjustment may require appropriate conditions and safeguards in conformity with this Code. Violation of such conditions and safeguards, when made a part of the terms under which a variance is granted, shall be deemed a violation of the Code. The recommendation of the Board Adjustment shall be presented to the City Council for final action.

FOR RE-ZONING APPLICANTS:

As stated in Section 12.3 in the Land Development Code, one of the following conditions must be met before a rezoning can be recommended. Check the condition(s) most applicable to your request and explain in writing:

- There was a mistake in the original zoning.
- The character of the neighborhood has changed substantially so that rezoning is clearly justified and there is a public need for the rezoning.
- Annexation.

Detailed explanation of condition(s) most applicable to your request:

I purchased this property to improve my current living conditions. The home I currently live in is unsafe. I can't make any updates or improvements to the home because it is air property. Because the ownership situation the home will continue to decline. As previously stated the foundation has shifted tremendously and major electrical problems may cause a fire at anytime. By allowing me to put a mobile home in the area it would not change the nature of the property it would be allowing me to have a safe home.



DEED

Bk:1357 Page:434-437

RCD: 01/22/2021 @ 2:08:37:PM

FORREST COUNTY, MS

LANCE C. REID CHANCERY CLERK

Prepared by and Return to:

John McIntyre and Felicia Watts McIntyre
503 Cox Street
Hattiesburg MS 39401

Indexing Instructions: Section 26, Township 4 North, Range 13 West

State of Mississippi
County of Forrest

QUITCLAIM DEED

FOR AND CONSIDERATION of the sum of Ten Dollars (\$10), cash in hand paid, the receipt and sufficiency of which is hereby acknowledged the undersigned .

Leonard Ray Moody
312 Satchell Rd
Hattiesburg MS 39401
601-543-3867

Do hereby convey and quit claim unto

John McIntyre and wife Felicia Watts McIntyre
503 Cox Street
Hattiesburg MS 39401
601-466-5812/601-620-7704

As Joint tenants with the right of survivorship and not as tenants in common and not as tenants by the entirety, the following described real property, situated and being in the county of Forrest, State of Mississippi and more particularly described as follow to wit

The following described property located in the County of Forrest, State of Mississippi, to wit:

COMMENCE AT RAILROAD SPIKE IN N. HATTIESBURG AVENUE MARKING THE NORTHWEST CORNER OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 13 WEST FORREST COUNTY MISSISSIPPI AND RUNS S 00 DEGREES 48'36" E FOR 475.33 FEET TO A ½" REBAR ON THE EAST RIGHT- OF- WAY LINE OF SAID N. HATTIESBURG AVENUE FOR THE POINT OF BEGINNING. THENCE RUN N 89 DEGREES 37'21"E FOR 187.76 FEET TO A ½ " REBAR; THENCE RUN S 00 DEGREES 48'58" E FOR 116.00 FEET TO A ½" REBAR ON THE NORTH RIGHT-OF-WAY LINE OF ANNIE LANE: THENCE RUN S 89 DEGREES 37"21" W ALONG SAID ROAD RIGHT-OF-WAY LINE FOR 187.76 FEET TO A ½" REBAR ON THE EAST RIGHT-OF-WAY LINE OF AFOREMENTIONED N. HATTIESBURG AVENUE; THENCE RUN N 00 DEGREES 48'58" W ALONG SAID ROAD RIGHT-OF-WAY LINE FOR 116.00 FEET BACK TO THE POINT OF BEGINNING. SAID PARCEL OF LAND IS A PART OF LOTS 18,19,20,21,22, AND 23 OF BLOCK 2 OF THE TOOMER ADDITION, A SUBURB TO THE CITY OF HATTIESBURG, AND IS LOCATED IN THE NORTHWEST ¼ OF THE NORTHWEST 1/4 OF THE SOUTHEAST ¼ OF THE SECTION 26, TOWNSHIP 4 NORTH, RANGE 13 WEST, FORREST COUNTY, MISSISSIPPI AND CONTAINS 0.50 ACRE MORE OR LESS.

Witness Leonard Ray Moody signature, this the 22 day of Jan, A.D. 2021

Leonard Ray Moody

State of Mississippi
County of Forrest

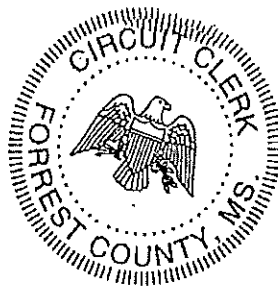
Personally appeared before me, the undersigned, in and for the County and State aforesaid, the within named Leonard Ray Moody Acknowledge and therein mentioned.

Given under my hand seal of office, this 22 day of Jan, A.D. 2021

Deonda Cromel
Notary Public

My commission Expires:

1-6-24



LEGAL DESCRIPTION FOR 0.50 ACRE

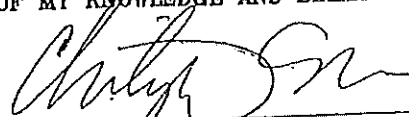
COMMENCE AT A RAILROAD SPIKE IN N. HATTIESBURG AVENUE MARKING THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 13 WEST, FORREST COUNTY, MISSISSIPPI, AND RUN S 00°48'36" E FOR 475.33 FEET TO A 1/2" REBAR ON THE EAST RIGHT-OF-WAY LINE OF SAID N. HATTIESBURG AVENUE FOR THE POINT OF BEGINNING. THENCE RUN N 89°37'21" E FOR 187.76 FEET TO A 1/2" REBAR; THENCE RUN S 00°48'58" E FOR 116.00 FEET TO A 1/2" REBAR ON THE NORTH RIGHT-OF-WAY LINE OF ANNIE LANE; THENCE RUN S 89°37'21" W ALONG SAID ROAD RIGHT-OF-WAY LINE FOR 187.76 FEET TO A 1/2" REBAR ON THE EAST RIGHT-OF-WAY LINE OF AFOREMENTIONED N. HATTIESBURG AVENUE; THENCE RUN N 00°48'58" W ALONG SAID ROAD RIGHT-OF-WAY LINE FOR 116.00 FEET BACK TO THE POINT OF BEGINNING. SAID PARCEL OF LAND IS A PART OF LOTS 18, 19, 20, 21, 22, AND 23 OF BLOCK 2 OF THE TOOMER ADDITION, A SUBURB TO THE CITY OF HATTIESBURG, AND IS LOCATED IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 13 WEST, FORREST COUNTY, MISSISSIPPI, AND CONTAINS 0.50 ACRE MORE OR LESS.

R/W LINE

GRAPHIC SCALE



(IN FEET)
 1 inch = 40 ft.

THIS IS TO CERTIFY THAT I HAVE CAUSED A SURVEY OF THE PROPERTY LINES SHOWN ON THIS PLAT AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  CHRISTOPHER G. BOONE, P.S. NO. 02905 STATE OF MISSISSIPPI.	SURVEY FOR: JOHN & FELICIA MCINTYRE MidSouth Surveying & Mapping, LLC 502 HILL STREET ELLISVILLE, MS 39437 (601) 517-9908 OR (601) 984-0115		REFERENCE MATERIAL DB 726, PG 346-347 DB 903, PG 429-432 DB 1300, PG 257-260 DB 1306, PG 35-36
	CHAIN LINK FENCE ○ = SET 1/2" REBAR WIRE FENCE * = CORNER FOUND CENTERLINE -C- ● = SET IRON SPINDLE ELEC LINE -E- ○ = RAILROAD SPIKE * = POWER POLE □ = CONCRETE MONUMENT FOUND A.P.R. = AS PER RECORD A.P.S. = AS PER SURVEY	<input type="checkbox"/> SOLAR OBSERVATION <input type="checkbox"/> RECORD BEARING <input checked="" type="checkbox"/> GEODETIC <input type="checkbox"/> CLASS "A" SURVEY <input checked="" type="checkbox"/> CLASS "B" SURVEY <input type="checkbox"/> CLASS "C" SURVEY <input type="checkbox"/> CLASS "D" SURVEY	PLAT DATE: 01/06/2021 SURVEY DATE: 12/28/2020 DRAWING NO. 122820R1 DRAWN BY: KIM MCMINN
CREW CHIEF: RICHARD BALL TECH.: E. CLARK			

Book 1357 Page 437
Instrument# 815917
DEED 1/22/2021 2:08:37 PM

POC
FND RRS IN
N. HATTIESBURG AVE.
NW/C-NW 1/4-NW 1/4-SE 1/4
SEC 26, T4N, R13W
FORREST CO., MS

S00°48'36"E
475.33'

CREEK

POB
SET 1/2"
REBAR

N89°37'21"E
187.76'

FORREST COUNTY, MS, LANCE C. REITZEL SET 1/2" REBAR ON 1/22/2021 2:08:37 PM AND RECORDS IN DEED BOOK 1357 PAGE 437. I CERTIFY THIS INSTRUMENT WAS FILED.

BLOCK 2

LOT 18

LOT 19

LOT 20

LOT 21

LOT 22

LOT 23

0.50 ACRE

R/W LINE

116.00'
N00°48'58"W

116.00'

ELEC LINE

SET 1/2"
REBAR

S89°37'21"W
187.76'

R/W LINE

SET 1/2"
REBAR



N. HATTIESBURG AVENUE
50' WIDE R/W OBSERVED

COX STREET

ANNIE LANE

50' WIDE R/W OBSERVED





Staff Present:

Nathan Satcher (Senior Planner), Kevin Bates (Building Official), Shawn Whitaker (Fire Marshall), Jerald Little (Engineering Technician), Meridian McDaniel (Planner I).

Project: Click or tap here to enter text.

Address: ~321 N Hattiesburg

Presented by: Felicia McIntyre

Project Type: Subdivision/Rezone

PPIN: 47150

Flood Zone:X

Historic District: N/A

Elevation Certificate Required: No

County: Forrest

Ward: 5

Estimated Cost: TBD

Zoning: R-1C

Designated Use: TBD

PROJECT SUMMARY:

- Applicant Summary
 - Property is on corner of N Hattiesburg and Annie Lane. Bought 0.5 acres from Mr. Moody in 2021 across the street from the current residence on Cox Street. Wanting to have better housing because current house is heir property. Cleared trees from 0.5 acre area. Talked to mobile home companies and they directed the applicant to check with the city about zoning.
 - Wanting to rezone the property to an agricultural zoning to be able to place a mobile home on the property.
- Planning
 - Subdivision issues:
 - Property was subdivided and sold in ~2021
 - Rezoning:
 - Code calls for the lots of agriculturally zoned land to be either 1 acre (A-2) or 3 acres (A-1)
 - McIntyre 0.5 acre lot
 - Options:
 - Obtain another 0.5 acres to have 1 acre—would meet code requirements
 - Seek a variance for the lot size
 - This would go to public hearing before the Board of Adjustment
 - Property is potentially in a platted subdivision
 - Survey shows that it is in the Toomer Addition Subdivision
 - Planning and engineering to check on subdivision and ROW issues
 - If it is a platted subdivision, altering a platted subdivision would also require a public hearing.
 - Consider reaching out to Nick Brown (W5 Councilman) about the rezoning request/mobile home
- Building

Pre-application meeting notes are provided as a courtesy by staff during pre-application meetings. These notes are not exhaustive. All Land Development Codes and City Ordinances apply, even if not listed during a pre-application meeting.

- No comments at this meeting.
- Engineering
 - Engineering will look into the unplatted Right of Way situation and subdivision situation.
- Fire
 - No comments at this meeting.

NEXT STEPS:

- Additional information
 - Work through subdivision with other property owner.
- Permits
 - Apply for permits indicated below

APPLICATIONS REQUIRED:

- | | |
|---|---|
| <input type="checkbox"/> Site Plan Review Checklist and Application | <input type="checkbox"/> Conditional Use Application |
| <input type="checkbox"/> Public Hearing Application | <input type="checkbox"/> Street/Alley Closing |
| <input type="checkbox"/> Variance Application | <input type="checkbox"/> Major Subdivision |
| <input type="checkbox"/> Rezone Application | <input checked="" type="checkbox"/> Minor Subdivision |
| <input type="checkbox"/> Certificate of Appropriateness (Historic) | <input type="checkbox"/> Building Permit Application |
| <input type="checkbox"/> Privilege Tax License | <input type="checkbox"/> Sign Permit |

Pre-application meeting notes are provided as a courtesy by staff during pre-application meetings. These notes are not exhaustive. All Land Development Codes and City Ordinances apply, even if not listed during a pre-application meeting.



Hattiesburg Board of Adjustment

Planning Division

Item D - Staff Report

May 6, 2026

Quick Facts:

Applicant:

John Anglin

Address:

4879 Hwy 49

Zoning:

B-5 (Regional Business)

Future Land Use:

Regional Business District

Historic District:

N/A

Overlay District(s):

N/A

Flood Zone:

X

Ward:

5

County:

Forrest

PPIN Number(s):

27634, 27635, 27636

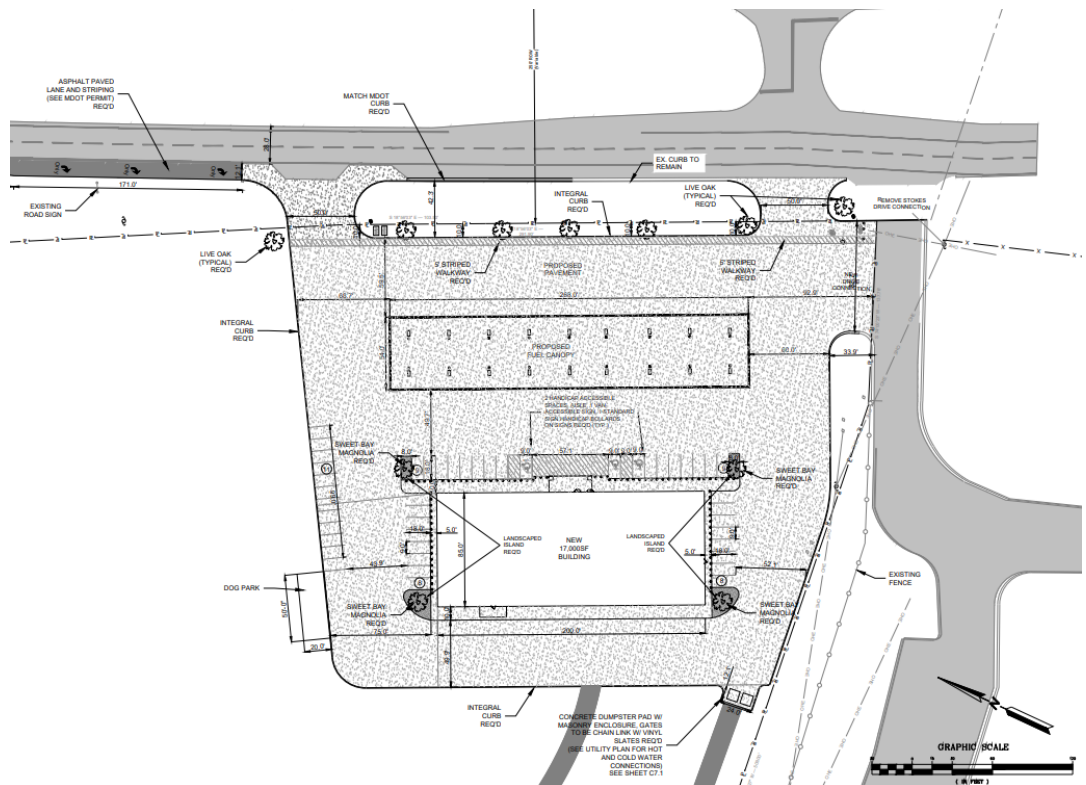
Parcel Number(s):

2-049E-02-020.00, 2-049E-02-021.00, 2-049E-02-022.00



Applicant's Requests:

John Anglin, Applicant, requests a variance from the maximum two-way driveway width of 24ft to allow for 50ft for a property located at 4879 Hwy 49 (PPINs 27634, 27635, 27636, Forrest County, Ward 5).



Background and History

The applicants met with staff at pre-application and site plan review meetings to review proposed plans for a new KeithCo Fueling station. The subject property is located at the intersection of Highway 49 and Stokes Drive and consists of multiple B-5 zoned parcels. Staff reviewed a variety of code standards and discussed the proposed 50ft driveway width in detail. The LDC requires two-way driveways to be a maximum of 24ft wide, 26ft less than what was proposed on the applicant’s site plan.



The applicants explained that they had been in contact with MDOT (Mississippi Department of Transportation) regarding the closure of Stokes Drive and the alignment of the driveway with the median of Hwy 49 to improve traffic safety in the area. MDOT has requested the driveways be 50ft wide to accommodate the larger trucks turning into the gas station to access Stokes Drive and the gas station. The applicants are seeking a variance from the two-way driveway requirement to meet MDOT's request. As a note, the City Council has asked staff to review changes to the Land Development Code to specifically address these conflicts with MDOT’s requirements. Staff is actively working on a solution, but as of now, the code includes only the ability to request a variance.

Future Land Use:

Community Business District The Community Business District is primarily a non-residential district located along the city’s major roadways. In this district, certain residential and non-residential land uses may be found that exhibit suburban development patterns.

District Characteristics The characteristics of this district include the following: moderate-density single-family residences and certain two-family and multi-family uses; mixed-use buildings and developments; suburban-style,



higher-intensity business developments that provide services to the entire community; and less-intensive commercial uses than are found in the Regional Business District.

District Land Uses The following land uses should be found in this district: residential uses; public and quasi-public uses, such as churches and schools; and general indoor retail, service and office land uses that do not require the outdoor storage of goods or equipment.

Codes and Regulations

SECTION 4: Zoning Districts Established

4.5.12 B-5 Regional Business District

The purpose of the B-5 District is to provide retail, personal, and business services, offices, and financial services in locations with convenient access to the region’s population, consistent with comprehensive planning policies. This district is consistent with the Regional Business District in the Comprehensive Plan.

SECTION 7: Standards of Design

7.5.2.3 Two-way driveway entrances shall be a maximum of 24 feet wide

Considerations and Basis for Approval

Option:

Recommend approval or denial of variance from the maximum two-way driveway width of 24ft to allow for 50ft for a property located at 4879 Hwy 49 (PPINs 27634, 27635, 27636, Forrest County, Ward 5).

Basis for Approval:

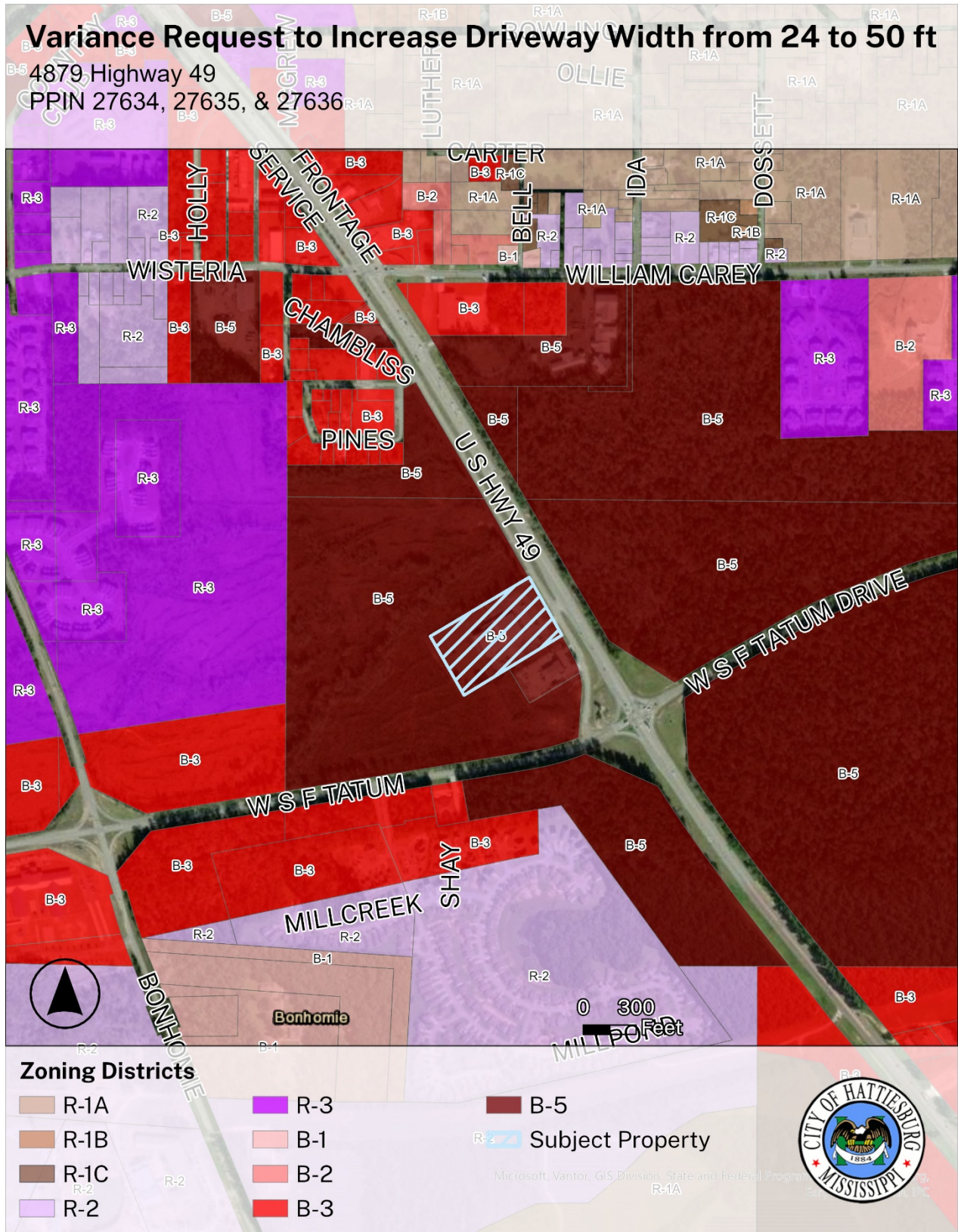
1. Hardship.
 - a. The hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant.



- b. There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.
- 2. Special Privilege.
 - a. A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.
- 3. Literal Interpretation.
 - a. The literal interpretation of the provisions of the regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant
- 4. Reasonable Use.
 - a. The applicant cannot make reasonable use of the property without the requested variance.
- 5. Minimum Required.
 - a. The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.
- 6. Conformance with the Purposes of this Code.
 - a. The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code.

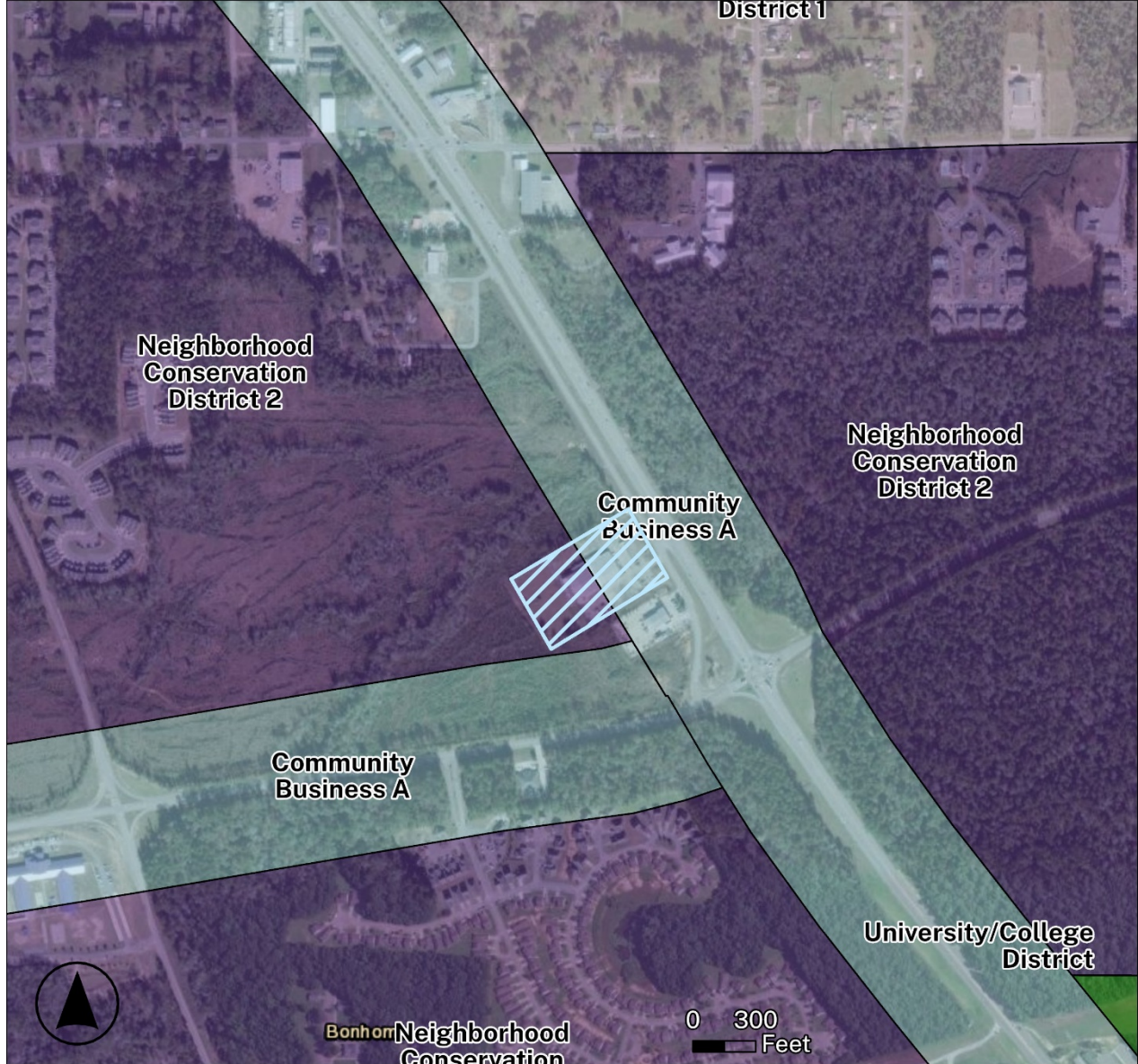
Variance Request to Increase Driveway Width from 24 to 50 ft

4879 Highway 49
PPIN 27634, 27635, & 27636



Variance Request to Increase Driveway Width from 24 to 50 ft

4879 Highway 49
PPIN 27634, 27635, & 27636



Future Land Use

- Community Business A
- Neighborhood Business
- Neighborhood Conservation District 1
- Neighborhood Conservation District 2
- Regional Business A
- University/College District
- Subject Property



Variance Request to Increase Driveway Width from 24 to 50 ft

4879 Highway 49
PPIN 27634, 27635, & 27636



Flood Zones & Wetlands

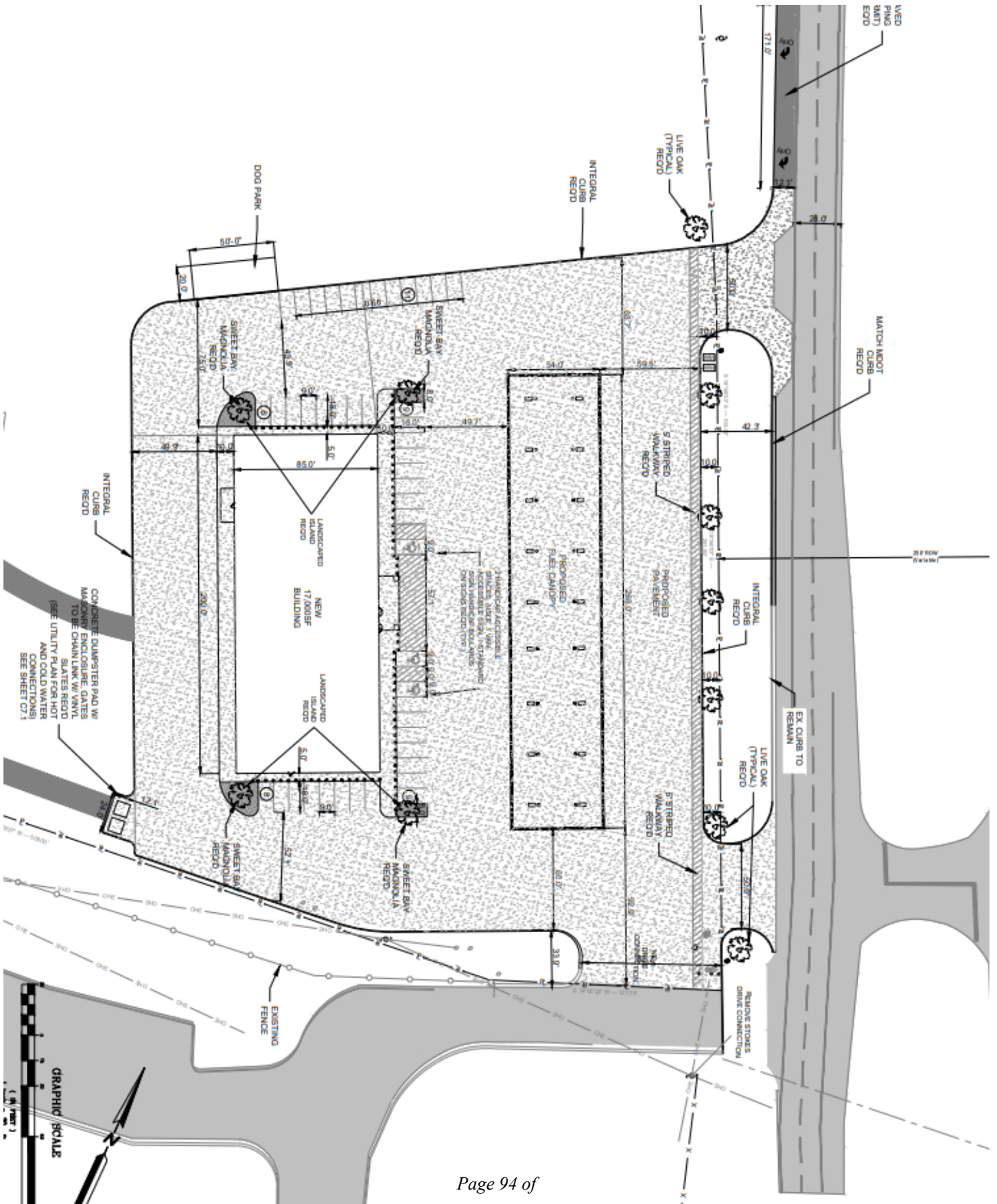
- Marsh, Swamp, Bog, Prairie
- River
- FLOODWAY AREA IN ZONE AE
- ZONE A (100 yr flood - no elevation)
- ZONE AE (100 yr flood w / elevation)
- ZONE SX (500 yr flood)
- Subject Property



Site Aerial



Preliminary Site Plan





Application for Public Hearing

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599



NOTE:

- Fill this application out IN FULL with what applies to your application
- Refer to the hattiesburgms.com/planning for Land Development Code and GIS map. Access via link or QR code



Applicant Information

Name Applicant: _____ Project Name: _____

Municipal Address of Site: _____ PPIN #: _____

Parcel Number(s): _____

Type of Public Hearing	Additional Information Needed:
<input type="checkbox"/> Variance	<input type="checkbox"/> Sign <input type="checkbox"/> Setback <input type="checkbox"/> Off-Site Parking <input type="checkbox"/> Lot Width <input type="checkbox"/> Lot Coverage Area <input type="checkbox"/> Buffer <input type="checkbox"/> Open Space <input type="checkbox"/> Other: _____
<input type="checkbox"/> Rezoning	Existing Zoning: _____ Proposed Zoning: _____
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Automotive Filling Station <input type="checkbox"/> Digital Billboard, New <input type="checkbox"/> Digital Billboard, Replacement <input type="checkbox"/> Telecommunications <input type="checkbox"/> Restaurant <input type="checkbox"/> Solar Farm <input type="checkbox"/> Other: _____
Other Application types: <input type="checkbox"/> Subdividing of lot, Parcel, or Tract <input type="checkbox"/> Street or Alley Renaming <input type="checkbox"/> Vacating Street or Alley	<input type="checkbox"/> Minor/Major Subdivision <input type="checkbox"/> Overlay District <input type="checkbox"/> Planned Mixed-Use District (PMU)

For Staff Only:				
Zoning:	Historic District:	Flood Zone:	Ward:	
			<input type="checkbox"/> 1	<input type="checkbox"/> 2
			<input type="checkbox"/> 3	<input type="checkbox"/> 4
			<input type="checkbox"/> 5	
Project Number:		Received:		
PPIN # or Parcel #:				



Application for Public Hearing

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599



Public Hearing Petitioner Information:

Deadline for applicant to file petition: Mon. March 30, 2026 _____

Hattiesburg Planning Commission Meeting Date: Wed. May 6, 2026 _____

Hattiesburg Board of Adjustment Meeting Date: _____

City Council Agenda Review Date – (you or your representative should attend): _____

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The following paperwork **MUST** be attached to this application:

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- Copy of entire Warranty Deed (filed and recorded at the courthouse) with legal description granting title to the current owner. (If the Warranty Deed covers a larger piece of property than the current project, a legal description for this project site only may also be required)
- Electronic/Digital copy of legal description **REQUIRED** for all public notices, saved as Word or text document OR emailed to planning@hattiesburgms.com
- An affidavit (pages 3 & 4) attesting that the applicant or representing party (if other than the owner) is acting on behalf of the owner(s) of record. The affidavit must be sworn to before a notary public or other appropriate official. (Included in owners signature page, or may be a separate document).
- Variance application only:** A letter of approval/denial from all adjoining property owners must be obtained and submitted with the application
- Other documents needed (if relevant):
 - Maps of digital billboard removal sites
 - Maps of digital billboard replacement sites
 - Documentation on measurements
 - Other: _____
- Payment to the City of Hattiesburg for filing a public hearing application in the amount of \$_____



Application for Site Plan Review

City of Hattiesburg – Planning Division

PO BOX 1898 – Hattiesburg, MS 39403-1898 | Phone (601)- 545-4599

The following fees are an excerpt from Ordinance No. 2977, adopted January 22, 2008, as amended.

<u>Public Hearing Fees</u>	
Public Hearing Type	Fees Associated
Variance Variance applications include one Concept Site Plan Review and one Variance request	\$175.00 per application. \$50.00 for each additional variance.
Street / Alley Naming or Re-Naming *Fees for replacement street signs shall be paid after City Council approval but prior to the effective date. *	\$300.00 per application. \$100.00 per required street name sign *if approved*
Street / Alley Closing	\$200.00 per application.
Conditional Use	\$200.00 per application.
Zoning Change	\$400.00 per application. *see PUD or PRD & zoning package rate)
Planned Unit Development (PUD) or Planned Residential Development (PRD) with zoning change package	\$600.00 per package.
Subdivision of Land (Preliminary Plats) Note: Final Plats should be submitted to the governing body for approval within 12 months of approval of preliminary plats.	\$250.00 per application. \$10.00 per each additional created lot (** see PUD or PRD & Subdivision of Land package rate)
Planned Unit Development (PUD) or Planned Residential Development with Subdivision of Land Package**	\$500.00 per application. \$10.00 per each additional created lot (** see PUD or PRD & Subdivision of Land package rate)
Change in Land Development Code Text	\$200.00 per application.
Appeal Fees for Proponent or Opponent appeals to City Council *Exempt from fees – Established Neighborhood Association*	\$50.00 per appeal.
Cancellation/Re-notification fee on any public hearing process (Planning Commission or City Council) that is tabled or cancelled at the owner/developer’s Request	\$50.00 (per each 100 mailing labels)

OTHER PROCESSES MAY HAVE ADDITIONAL FEES
 Make all checks payable to the City of Hattiesburg

I hereby certify that I have completed and attached the above-required documents, information, and fees.

Print Name: Stacey Odom

Signature: Stacey Odom

OWNER AFFIDAVIT PAGE

THIS PAGE MUST BE SIGNED IN FRONT OF A NOTARY, BY THE OWNER(S) OF THE SUBJECT PROPERTY

WITNESS THE SIGNATURES of the OWNER(s) of the subject property located at

Hwy 19 @ Stokes Dr H'burg MS
Street Address City State

on this the 27th day of March, 2026

In the matter of this request, the property owner further authorizes the following named person(s) to represent them at the public hearing on this petition.

on this the 27th day of March, 2026

Keith Saucier
Property Owner (Print)
Keith Saucier
Property Owner (Signature)

STATE OF Mississippi
COUNTY OF SORRENT

Personally came and appeared before me, the within named Keith Saucier, who signed and delivered the above and foregoing instrument as and for their free act and deed on the day and year therein mentioned, and who acknowledge to me that they are the owner(s) of the subject property as described in this Public Hearing Application.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 27th day of March, 2026.

Loretta Williams
NOTARY PUBLIC



My Commission Expires: Feb 23, 2030

APPLICANT AFFIDAVIT PAGE

THIS PAGE MUST BE SIGNED IN FRONT OF A NOTARY, BY THE **APPLICANT(S)** OF THE PETITION, ONLY IF DIFFERENT FROM THE OWNER(S) OF THE SUBJECT PROPERTY.

WITNESS THE SIGNATURES of the **APPLICANT(S)** of the subject property located at

Hwy 49 at Stokes Dr Hattiesburg MS
Street Address City State

on this the 27th day of March, 2026

In the matter of this request, the property owner further authorizes the following named person(s) to represent them at the public hearing on this petition.

John Anglin, P.E. of Clearpoint Engineers

on this the 27th day of March, 2026.

John Anglin
Applicant (Print)
[Signature]
Applicant (Signature)

STATE OF MS
COUNTY OF Lamar

Personally came and appeared before me, the within named Keith Saucier

who signed and delivered the above and foregoing instrument as and for their free act and deed on the day and year therein mentioned, and who acknowledge to me that they are the owner(s) of the subject property as described in this Public Hearing Application.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 27th day of March, 2026

[Signature]
NOTARY PUBLIC

My Commission Expires: 10/18/27



FOR VARIANCE APPLICANTS:

The Board of Adjustment has the responsibility to hear and make recommendation on requests for variances to the requirements of this Code (per Section 11.4). Section 12.4.1 Variances are departures from the standards of the Land Development Code, except land use, which will not be contrary to the public interest and where, owing to conditions peculiar to the property and not as a result of the action of the applicant, a literal enforcement of this Code would result in unnecessary and undue hardship.

The following conditions must be met before a variance can be recommended.

Approval Criteria.

A variance is not a right, but a privilege that property owners meeting the following criteria may request. These criteria are to be used to consider all variance requests. It shall be the burden of the applicant to prove that the request meets these criteria. Use this worksheet or format your own to demonstrate the following criteria.

1. **Hardship.** (a) the hardship is unique to the property and is not or will not be caused by the actions or inactions of the applicant. (b) There are exceptional conditions creating an undue hardship applicable only to the property involved or the intended use which do not apply generally to the other land areas or uses within the same zoning district.

2. **Special Privilege.** A variance shall not confer any special privilege that is denied to other lands or structures in the same zoning district.

3. **Literal Interpretation.** The literal interpretation of the provision of the regulation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district and would cause unnecessary and undue hardship on the applicant.

4. **Reasonable Use.** The applicant cannot make reasonable use of the property without the requested variance.

5. **Minimum Required.** The granting of a variance is the minimum variance that will make possible the reasonable use of the land or structure.

6. **Conformance with Purpose of this Code.** The granting of a variance will not conflict with the purposes and intent expressed or implied in the Land Development Code.

12.4.1.2 Conditions of Approval. In recommending the granting of a variance, the Board of Adjustment may require appropriate conditions and safeguards in conformity with this Code. Violation of such conditions and safeguards, when made a part of the terms under which a variance is granted, shall be deemed a violation of the Code. The recommendation of the Board Adjustment shall be presented to the City Council for final action.

Site Improvements

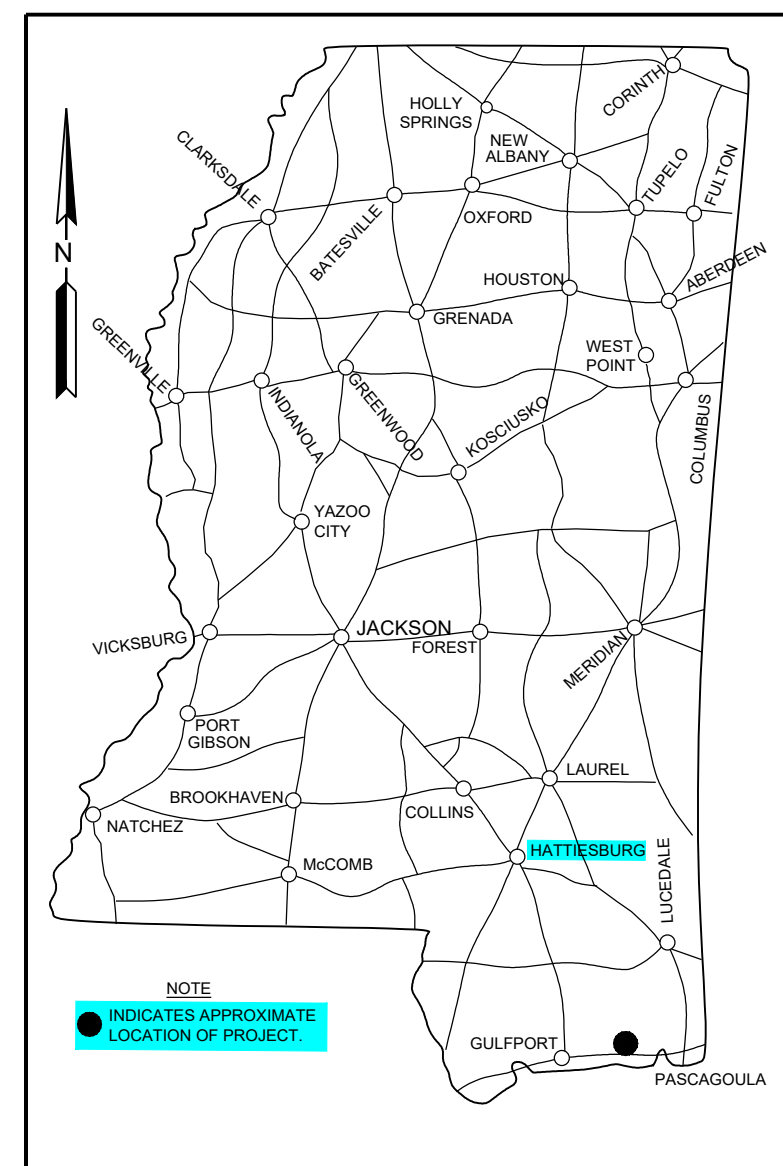
For

Keith's Superstore

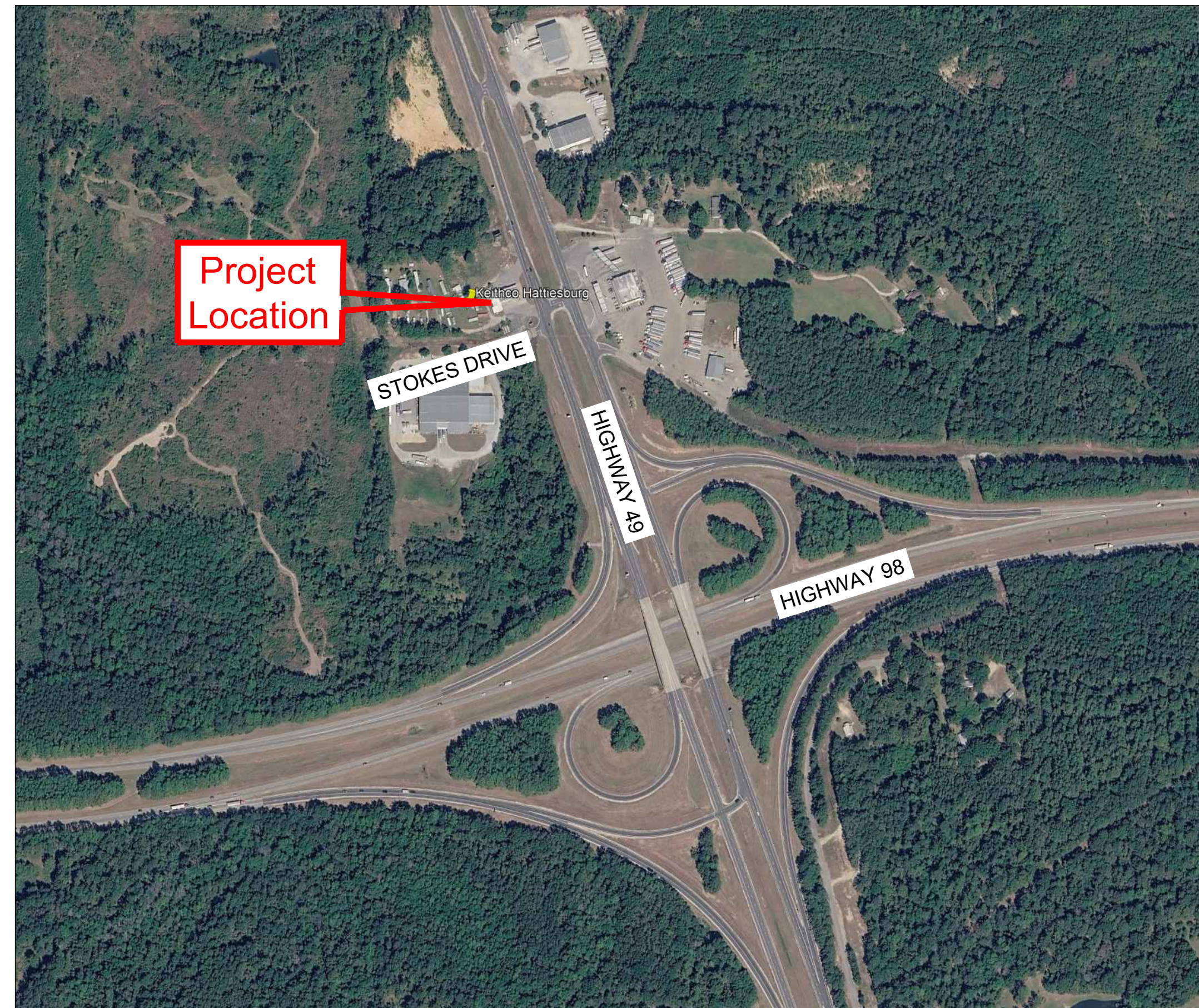
Highway 49 / Stokes Drive

City of Hattiesburg, Forrest County, Mississippi

MARCH 16, 2026



LOCATION MAP



VICINITY MAP
NOT TO SCALE

DRAWING INDEX	
Sheet No.	Description
C10	Title Sheet
C11	Notes, Legend, and Abbreviations
S1	Boundary Topographic Survey
C2.0	Existing Conditions and Demolition Plan
C3.0	Erosion Control Plan
C4.0	Site Plan
C5.0	Grading and Drainage Plan
C6.0	Utility Plan
C6.1	Lighting Plan
C7.0	Erosion Control Details
C7.1	Miscellaneous Details
C7.2	Drainage Details
C7.3	Water and Sewer Details
L101	Landscaping (By Others)



Utility Notes:

- The location of utilities are approximate only. Excavation near utilities shown should be done with caution. The Mississippi One-Call Network (1-800-227-6477) should be notified prior to commencing with excavation activities.
- Additional underground utilities may exist. Lacking excavation, however, the exact location of underground utilities cannot be accurately, completely, and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

PREPARED FOR:
PIERCON, INC.
23 LIBERTY PLACE, HATTIESBURG, MS 39402
(601) 264-6800

PERMIT SET FOR REVIEW
PURPOSES ONLY

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	2/19/26	PERMIT SET	SM



6652 Highway 98 | Hattiesburg, MS 39402
t 601.261.2609 | clearpointengineers.com

TITLE SHEET
KeithCo, Inc.
US Highway 49 / Stokes Drive
City of Hattiesburg,
Forrest County, Mississippi

SHEET NO.
C10

PROJ. NO.: 74622122 DRAWN BY: SDM CHECKED BY: JCA SCALE: NONE DATE: FEB., 2026

GENERAL NOTES:

- 1. The location of utilities shown is based on field surveys of utility markings and/or information provided by utility company personnel. Their location should be considered as approximate only, and other utilities may exist that are not shown on these drawings. Excavation near utilities shown should be done with caution. Prior to construction operations, the Contractor shall verify the location of the Contractor's expense, shall promptly repair those which are damaged by his construction operations. The Mississippi One-Call Network (1-800-227-5477) should be notified prior to commencing with excavation activities.
- 2. Specifications for all materials and construction methods for street, driveway, or parking lot construction shall conform to the applicable provisions of the Mississippi Standard Specifications for State Aid Road and Bridge Construction, Latest Edition.
- 3. The Contractor must have written approval from the City Engineer and/or Project Engineer of record before any change in the design is made.
- 4. All requirements specified in the technical specifications, the Storm Water Pollution Prevention Plan (SWPPP), all MDOT permit(s), and the geotechnical report shall be considered to be included within the Contractor's scope of work for the project, and the Contractor shall be responsible for full compliance therin.
- 5. The Contractor shall warrant all materials and labor for a period of one (1) year for all work performed by the Contractor and Sub-contractors(s).
- 6. Contractor shall provide a minimum 24 hour notice to the engineer prior to commencing any construction operations, sampling, or testing.
- 7. Contractor shall provide all necessary fittings and appurtenances necessary for complete installation of all items whether specifically indicated or not.
- 8. Any local, state, or federal permitting required for construction shall be the responsibility of the Contractor to obtain.
- 9. CONSTRUCTION SAFETY IS A PROJECT REQUIREMENT. The Contractor shall be responsible for providing safety equipment and/or methods necessary for the safe prosecution of the work by his personal and the personnel of any Sub-contractors, as well as providing safe access and site conditions to all elements of the project for the Owner, Engineer and their representatives. Such safety requirements shall meet OSHA guidelines.
- 10. The Contractor shall assign a competent, experienced, and employed superintendent to be on site all at times during all phases of construction. Work on the project site shall cease if the superintendent is not on site for an extended period of time.
- 11. It is the responsibility of the Contractor to protect existing structures and utilities that are to remain such as pipes, inlets, paved ditches, gas pipelines, water mains, sewer mains, underground power/fiber, etc. from damage which might occur during construction. The Contractor shall replace or repair, as directed by the Engineer, any structures damaged during the life of the Contract. No payment to Contractor will be made for replacement or repair of damaged items.
- 12. All existing signs, fences, mailboxes, and other incidental structures located within the project construction limits shall be temporarily removed and reestablished as required by construction activities. Any damaged items shall be replaced at the Contractor's expense.
- 13. To prevent damage to adjacent properties, Contractor shall properly establish the property boundary of the subject property site prior to any construction activities within the subject property. The Contractor shall not enter upon or cause damage to adjacent properties without written permission from adjacent property owner(s).
- 14. Contractor shall seed, fertilize, and mulch all areas (not proposed as paved or under road) disturbed by construction activities and insure a complete stand of grass. Apply per seasonal limitations.
- 15. The Contractor shall be responsible for completing all sampling and testing of materials incorporated into the project and for submission of same to the Engineer for review. All phases of testing, including but not limited to sampling, transporting, and testing of materials, must be performed by a certified testing laboratory. Prior use test results, manufacturer's certificates, or proposed mix designs shall be submitted to the Engineer for review before incorporation into the project. This shall include embankment, back fill, seed, and all other items specified by the Engineer. Quality control/testing shall be the responsibility of the Contractor.
- 16. Construction staking shall be provided by the Contractor.
- 17. Contractor shall provide proper traffic control (signs, barricades, flagmen, etc.) when working within highway or county right-of-way. Appropriate personnel shall be notified at least 48 hours prior to commencing any construction operations within highway right-of-way. All traffic control materials and procedures shall be in full compliance with the latest version of the Manual on Uniform Traffic Control Devices (MUTCD). Contractor shall also ensure that access to existing residences and businesses is maintained during all phases of construction, and shall be responsible for all related coordination.
- 18. Material submittals shall be made to the Owner through the Engineer prior to use, for approval. All materials shall be new; used materials shall not be installed.
- 19. The Contractor is required to remove all spoil material on a daily basis.
- 20. The Contractor is responsible for coordinating with existing residences or businesses regarding temporary interruption of access and/or utility service, if required, and shall sequence construction operations as necessary to ensure that said interruption of access and/or utility service is kept to a minimum.
- 21. The Contractor is responsible for coordinating with the power company regarding establishment of temporary and permanent power, and shall include all required connection and meter fees in their bid.
- 22. No construction activities shall commence until all approvals and permits have been obtained from governing authorities, including but not limited to those required by the City, County, MS Department of Health, MS Department of Environmental Quality, Mississippi Department of Transportation (MDOT), Corps of Engineers, Utility Associations. Any work performed prior to obtaining said permits and approvals shall occur at the risk of the Contractor and/or Owner.
- 23. Contractor shall provide minimum 48 hours to M.D.O.T. personnel prior to performing any working within highway right-of-way. Contractor shall keep a copy of the MDOT permit on site at all times (if required).
- 24. All costs associated with dewatering (if required) shall be absorbed by the Contractor. Contractor shall employ dewatering methods as required for complete installation of storm drainage and utilities. Prior to bid, it is the Contractor's responsibility to consult the geotechnical report and make site visits necessary in order to determine costs required for dewatering effort.
- 25. At project completion, the Contractor shall provide as-built "mark-up" drawings to the Engineer, based on field measurements, that accurately show the location of all subsurface utility and drainage improvements (i.e. roof drain/downspout collector, water mains/services lines, sewer service lines, sewer force mains, irrigation, power, communication, gas, etc.).
- 26. Existing conditions and topography shown on these construction drawings are representative of conditions on February 2, 2026, and may not be representative of existing conditions as of the date of these drawings. Prior to execution of a contract, the Contractor is responsible for visiting the site to determine the scope of work.
- 27. Prior to construction layout of proposed building(s), the architectural drawings shall be used to verify the building dimensions shown on civil drawings. Should discrepancies exist between architectural drawings and civil drawings, then architectural drawings shall control.

WATER NOTES:

- 1. Construction and materials for the water distribution system shall conform to the specifications of the Mississippi Department of Health and the local water service provider.
- 2. Water mains and services shall be installed at least 18 feet horizontally and 18 inches vertically from any sewer main or service or sewer manhole. The bottom of the water pipe shall be at least 18 inches from the top of the sewer pipe. Water mains/services shall always be constructed above sewer mains/services. Where local conditions prevent adequate horizontal and vertical separation, the Bureau of Water Supply may allow the water main/service to be laid closer to the sewer main/service if supported by adequate design data from the design engineer. Each situation will be reviewed by the Bureau of Water Supply on a case by case basis. A detailed drawing shall be included in the plans for water line construction submitted to the Bureau of Water Supply for review and approval. Where adequate horizontal and/or vertical separation cannot be maintained, the following requirements shall apply:
 - If the 10 foot horizontal separation between water and sewer pipes cannot be maintained then the water pipe should be ductile iron with the water pipe joints located at the maximum distance possible from sewer pipe joints. PVC pipe may be used if it is protected by steel casing. Also, the water and sewer pipes must be installed trenches with adequate space for maintenance. In some cases, special sewer pipe construction procedures may be required.
 - Where the 10 foot horizontal and 18 inch vertical separation cannot be maintained, condition 1 above must be met and the sewer pipe shall be constructed according to water main standards.
 - NOTE: Where water pipes cross sewer pipes, the above requirements will be waived if pipe segments are centered to provide a maximum spacing of the joints of both water and sewer pipes and a vertical separation of at least 18 inches (water over sewer) is maintained.
- 3. Location and size of existing water mains are based on information provided by others and by MS One-Call. The Contractor shall verify location and size of existing water mains prior to commencing boring or connection operations, and shall provide necessary adjustments to both new and existing water lines to allow for connection and installation.
- 4. Contractor shall refer to mechanical / plumbing drawings to verify locations and sizes of fire and domestic services prior to installation. Adjustments to fire services, domestic services and post indicator valves, and remote fire department connections shown on these drawings shall be made as necessary through coordination with the Project Engineer. For domestic and fire services, the scope of these drawings terminates at a location five feet (5') outside of the exterior building wall. Refer to mechanical / plumbing drawings for continuation into the building.
- 5. Water mains and services must be buried a minimum of 36" below finished grade.
- 6. All water pipe shall be PVC C-900, Class 235 (DR 18) pipe, and all service pipe shall be C.T.S. luting. All fittings shall be ductile iron mechanical joint (MJ) fittings. Concrete thrust blocking and Megalug fittings are required at all bends and tees. All water mains and services located under roadways shall be encased in Schedule 40 PVCg casing.
- 7. All items shown on water lines (i.e. hydrants, valves, fittings) are shown in general locations only and may be slightly adjusted in the field as warranted by installation requirements. Where possible, valves and hydrants are to be installed in unpaved locations.
- 8. Locator wire (12 gage copper) shall be placed along and attached to all new water mains. Tracer wire to be a minimum of 3 feet to all valve boxes.
- 9. A ductile iron cap is required at the end of all water mains.
- 10. Backflow prevention measures for fire services are to be installed within the buildings (see architectural / mechanical drawings).
- 11. The Contractor is responsible for coordinating with the utility service provider prior to connecting to existing water or relocation of existing water (if required). The Contractor is responsible for ensuring that utility service personnel are present during critical phases of installation (i.e. connection, relocation, testing, etc.). Cost of connection fees and meters shall be responsibility of the Contractor.
- 12. Prior to being placed into service, all new water mains must be pressure tested and disinfected according to the specifications. A pressure test shall be conducted using a minimum of 150 psi or 1.5 times the working pressure, whichever greater, for two (2) hours under the inspection of an Engineer's representative. Using samples obtained by the water service provider 24 hours apart, two (2) consecutive bacteriological tests are required to be determined as satisfactory by a laboratory certified by the Mississippi State Department of Health.
- 13. Unsuitable material (i.e. expansive clay, high moisture content) incapable of achieving compaction requirements shall not be used to backfill water pipe trenches.

SEWER NOTES:

- 1. Construction and materials for sanitary sewer improvements shall conform to the specifications of the Mississippi Department of Environmental Quality and the local sewer service provider.
- 2. All sanitary sewer mains and services shall be PVC SDR-26. Sewer services shall be 6" in diameter, and shall be installed on a minimum 1% slope.
- 3. Bedding material shall be required beneath all sanitary sewer mains, and beneath all sanitary sewer services located under roadways and paved areas. Bedding material shall be a gravel-sand mixture, all of which passes a 1/2 inch sieve, not more than 30 percent of which passes a No. 4 sieve, and not more than 5 percent of which passes a No. 200 sieve.
- 4. Unsuitable material (i.e. expansive clay, high moisture content) incapable of achieving compaction requirements shall not be used to backfill sewer pipe trenches.
- 5. A manhole drop connection is required if the vertical distance between an influent sanitary sewer main or service and the bottom of the manhole exceeds two feet.
- 6. Sewer mains and services must be buried a minimum of 36" below finished grade.
- 7. Locator wire (14 gage copper) shall be placed along and attached to all new sewer mains.
- 8. The Contractor shall verify location, size, and invert elevation of existing sewer mains and/or manholes prior to commencing connection operations. The Contractor shall coordinate with the Engineer regarding any necessary adjustments to new sewer lines as necessary to allow for proper connection and installation.
- 9. Contractor shall refer to mechanical / plumbing drawings to verify locations and sizes of sewer services prior to installation. Adjustments to sewer service location(s) and invert elevation(s), and grease trap locations (if required) shown on these drawings shall be made as necessary through coordination with the Project Engineer. For sewer services, the scope of these drawings terminates at a location five feet (5') outside of the exterior building wall. Refer to mechanical / plumbing drawings for continuation into the building.
- 10. The Contractor is responsible for coordinating with the utility service provider prior to connecting to existing sewer or relocation of existing sewer (if required). The Contractor is responsible for ensuring that utility service personnel are present during critical phases of installation (i.e. connection, relocation, testing, etc.). Cost of connection fees shall be responsibility of the Contractor.
- 11. Prior to being placed into service, all new sewer mains must be tested according to the specifications.
- 12. The Contractor shall be responsible for providing minimum 48 hours notice to the sewer service provider during critical phases of sewer installation (i.e. connections, relocations, pressure tests, etc.) to allow opportunity for on-site observation.

GRADING AND DRAINAGE NOTES:

- 1. All available topsoil within the construction limits shall be stripped, stockpiled in a designated area to be approved by the Engineer, and replaced on slopes or as directed by the Engineer. Upon completion of grading, the Contractor shall place a sufficient quantity of topsoil (if minimum) to insure grass growth on the designated area. Topsoil shall be used to achieve final grades on roadway slopes and on slopes outside of paving limits. Any excess topsoil shall remain stockpiled for future use by the Owner.
- 2. Finished contours are intended to show a general representation of drainage patterns and slopes after paving, grading, replacement of topsoil, and/or placement of sod. Regardless of the level of grading detail shown on these drawings, Contractor shall take whatever steps necessary to ensure that positive drainage occurs on all areas of project site, specifically away from buildings. Prior to final grading, Contractor shall make allowances for placement of sod and landscape beds to ensure final design grades are achieved and that these areas are free of debris. Contractor shall coordinate with landscaping personnel to ensure that landscape beds are placed sufficiently below building finished floor elevations and that they do not trap water against buildings. Where roof drains are discharged onto the surface, Contractor shall extend downspouts along finished grade beyond landscape areas as needed for free discharge.
- 3. At the expense of the Contractor, the Contractor shall maintain existing drainage patterns and construct temporary structures, embankments, and culverts as required to maintain the drainage system and capacity in the work area. Any and all temporary structures, embankments, and culverts constructed during the progress of work shall be removed and the area restored to its original condition.
- 4. The Contractor shall furnish, place, and maintain all sheeting, shoring, and bracing required to support the sides of the required trench excavations. The Contractor shall be responsible for the sufficiency of any such supports to prevent any movement which can in any way damage or delay the work, endanger or cause damage to adjacent pavements, buildings, or other structures, or create undue hazards to workmen.
- 5. Existing ground elevations are based on survey data, and are a general representation of existing ground topography prior to demolition operations.
- 6. In cases where adjacent grades are higher than the building finished floor elevations, then Contractor shall coordinate with the architect regarding special design accommodations and waterproofing.
- 7. Contractor shall notify Engineer of any conflicts between civil drawings and architectural drawings regarding proposed grading at doorways and entrances.
- 8. Spot elevations shown adjacent to curb and gutter and/or adjacent to sidewalk are referenced to edge of pavement. Where shown along edge of sidewalks, add 6" for adjacent top of sidewalk elevation.
- 9. A.D.A. REQUIREMENTS:
 - For handicap spaces and aisles, finished grade slopes shall not exceed 2% in any direction.
 - Longitudinal slopes along sidewalks and handicap accessible routes shall not exceed 3%.
 - Transverse slopes across sidewalks and handicap accessible routes shall not exceed 2%.
- 10. A geotechnical report for the project has been prepared by NOT PROVIDED AT THIS TIME. Refer to said report for a description of in-situ soils and all phases of site preparation and testing requirements. Specifically, the report reveals a consistent presence of expansive soils on-site, and recommends a minimum buffer between the expansive clay and the bottom of building slab and between the expansive clay and the bottom of pavement structure. It is highly recommended that a representative of NOT PROVIDED AT THIS TIME be present during earthwork operations to ensure the buffer requirements are met and to ensure proper compaction of backfill.
- 11. Structural design of retaining walls, including backfill and drainage requirements, is not included within the scope of these construction drawings. Structural design of retaining walls shall be provided by the Contractor, and the Contractor is responsible for coordinating with the Owner and Landscape Architect regarding odors, block styles, etc. Retaining wall design shall be performed by a Professional Engineer registered in the State of Mississippi.
- 12. See detail sheet for bedding requirements for High Performance (HP) storm drainage pipe.
- 13. With the exception of curb inlet tops, drainage structures may be pre-cast or cast-in-place. Brick or block inlets are not allowed. Curb inlet or grate inlet tops shall conform to the longitudinal top of curb grade and must be cast-in-place. Precast curb inlet tops are not permitted. For curb inlets on longitudinal grade, precast tops are not permitted. Curb inlet top elevations shown are referenced to the top of curb elevation at the center of the curb inlet box. Where located adjacent to curb and gutter, grate inlet tops shall be set equal to flowline elevation of gutter.
- 14. All sizes of flared end sections may be furnished with either bell and spigot or tongue and groove joints.
- 15. The Contractor shall verify location, size, and invert elevation of existing storm drainage pipes, structures, and ditches prior to commencing connection operations. The Contractor shall provide necessary adjustments to new storm drainage lines as necessary to allow for connection and installation.
- 16. Any accumulated sediment inside new or existing storm drain lines within project construction limits shall be flushed prior to completion of project.
- 17. No slopes shall be constructed steeper than 3:1, unless specifically noted on drawings.
- 18. Prior to placement of fill and sub-base course, areas which are at final subgrade or are to receive fill should be proof-rolled with a loaded tandem axle truck to demonstrate stability.
- 19. Unsuitable material (i.e. expansive clay, high moisture content) incapable of achieving compaction requirements shall not be used to backfill storm drainage trenches.
- 20. The Contractor is responsible for field-verifying existing invert elevations or existing ground elevations prior to connecting to existing drainage structures, existing drainage pipes, or existing ground.

DEMOLITION NOTES:

- 1. Prior to demolition operations, the Contractor shall coordinate with the Owner regarding materials or equipment to be salvaged by the Owner.
- 2. Prior to demolition operations, the Contractor shall coordinate with adjacent property owner(s) regarding removal of items near common property lines that are designated to be removed.
- 3. The Contractor shall remove and dispose of all existing buildings and foundations, structures, utilities, fences, and other obstructions within the project limits, except for utilities for which provisions have been made for removal outside of this contract, and except those which are specifically designated on these drawings to remain. Other structures, obstructions, and utilities not shown on these drawings may require removal. The Contractor is responsible for visiting the site to determine the required scope of demolition work.
- 4. All removed material from demolition operations (except for those items to be salvaged by the Owner) and removed cleared and grubbed rubbish shall be become the property of the Contractor and shall be disposed of off-site in a responsible manner. The Contractor shall be responsible for determining location of off-site disposal. On-site burying of said material and rubbish is not permitted.
- 5. The Contractor shall be responsible for coordinating with utility companies regarding removal and abandonment of existing utilities within the project construction limits, and shall coordinate any adjustments required to prevent or minimize interruption of service or damage to existing underground utilities.
- 6. The Contractor is responsible for adhering to all federal, state, and local regulations regarding the removal and disposal of hazardous materials or materials that pose environmental risks (i.e. asbestos, septic tanks, propane, butane, etc.).
- 7. Voids created by the removal of posts, concrete anchors, footings, storm drainage and utility pipes, etc. shall be backfilled and tamped in accordance with the specifications.
- 8. On-site burning of cleared and grubbed rubbish shall not be permitted unless allowed by both the Owner and municipality. The Contractor is responsible for all coordination and permitting pertaining to on-site burning (if permitted). If on-site burning is prohibited by either the Owner or municipality, then all cleared and grubbed rubbish will be disposed of off-site by the Contractor in a responsible manner. Contractor is responsible for all coordination pertaining to off-site disposal of cleared and grubbed rubbish.
- 9. All existing trees that are not specifically shown on this plan to be removed and are to remain in place and are to be protected during construction operations. Every effort shall be made to preserve the integrity of existing trees during construction operations.

EROSION CONTROL NOTES:

- 1. Contractor is responsible for full compliance with the Storm Water Pollution Prevention Plan (SWPPP) for the project, and for following all local, state, and federal storm water regulations. The Contractor is responsible for installing erosion control measures shown on plans, as well as any additional erosion control measures required to prevent off-site sediment discharge. The Contractor is responsible for monitoring, and record keeping required by the SWPPP. A copy of the SWPPP is to remain on site at all times. All requirements specified in the SWPPP shall be included in the Contractor's scope of work under contract for the project.
- 2. Erosion control measures shall be installed before any ground disturbance, and must be maintained throughout the lifetime of the project. All temporary controls shall be removed once permanent stabilization is achieved, except for those controls specifically noted on drawings to remain.
- 3. Additional erosion and sediment controls may be required to prevent sediment from leaving site. These can be found in the latest version of the "Planning and Design Manual for the Control of Erosion, Sediment, and Storm Water" available from MDEQ.
- 4. The construction entrance shall be 1.5 inch to 3.5 inch coarse aggregate, 25 feet wide, a minimum of 50 feet long, and a minimum of 5 inches thick laid on top of filter fabric; if needed, a vehicle washing rack shall be included. No vehicle tracking on existing pavements is allowed.
- 5. All roadways are to be swept free of sediment and debris daily and at substantial completion of project. Dust control shall be implemented as required.
- 6. The site is to be cleaned daily for debris and accumulated sediment that may enter the roadway ditches or storm drainage system.
- 7. When capacity of structural controls (i.e. silt fence, hay bales, wattles, sediment basins if applicable, etc.) has been reduced by 50%, remove sediment, regrade, and establish vegetative cover according to seasonal limitations. Sediment should be removed from structural controls when it reaches one-third (1/3) to one-half (1/2) of the height of the control.
- 8. All controls shall be inspected prior to any storm events, after all events significant enough to produce a discharge, and at least once every 7 days. If there are problems repairs shall be done within 7 days of discovery.
- 9. Any disturbed areas that will be left undisturbed for 14 or more days shall be seeded and mulched immediately after time of final disturbance.
- 10. Final stabilization is to be achieved by establishing a complete stand of grass as per engineering recommendations and according to seasonal limitations. The applicable methods of vegetation shall be implemented immediately after time of final disturbance.
- 11. CONSTRUCTION SEQUENCE:
 - Construct Temporary Construction Entrance
 - Equipment Maintenance and Storage Areas
 - Install Silt Fence (down slope of demo area)
 - Removal of Existing Buildings and Pavement
 - Undercut and Backfill Areas as Described in Geotechnical Report (if applicable)
 - Site Grading
 - Storm Drainage Installation with Inlet/Outlet Protection
 - Plant Temporary Vegetation on Disturbed Areas
 - Install Utilities
 - Install Curb and Gutter and Complete Asphalt and Concrete Paving
 - Building and Sidewalk Construction
 - Apply Topsoil to Disturbed Areas and Plant Permanent Vegetation and Ditch Treatment as Needed (Sod, Concrete Ditch Paving, Etc.)
 - After Site is Stabilized, Remove all Temporary Measures (Silt Fence, Hay Bales, Brush Barriers, Construction Entrance, Etc.)

PAVING NOTES:

- 1. Specifications for all materials and construction methods for paving work, subbase and subgrade construction, and striping shall conform to the applicable provisions of the Mississippi Standard Specifications for Road and Bridge Construction, latest edition. Specifically, minimum and maximum asphalt lift thickness requirements shall conform to Section 401 of the Mississippi Standard Specifications for Road and Bridge Construction, latest edition.
- 2. The Contractor is responsible for verifying existing pavement grades at tie-in locations, and with the prior approval of the Project Engineer, shall adjust subgrade elevations prior to placement of sub-base so that final paving provides a smooth transition.
- 3. Traffic and parking striping shall not be placed within 14 days of placement of final lift of asphalt surface course.
- 4. Contractor shall apply tack coating prior to placing lifts of asphalt and along existing edge of pavement in widening areas.
- 5. The location and spacing of signs, shown on the traffic control plan, are approximate and may be adjusted as necessary to fit field conditions.
- 6. All post lengths for signs shall be verified in the field prior to fabrication.
- 7. All raised objects shall be placed a minimum of 2 feet behind the face of curb.
- 8. All proposed pavement markings and permanent signing shall be installed prior to opening the facility.

ABBREVIATIONS

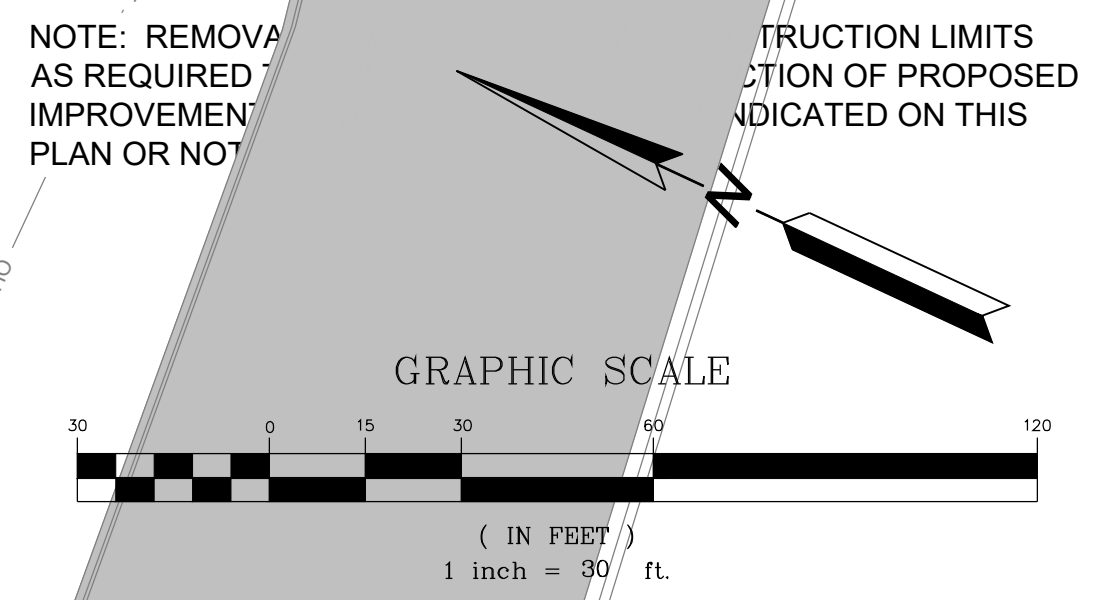
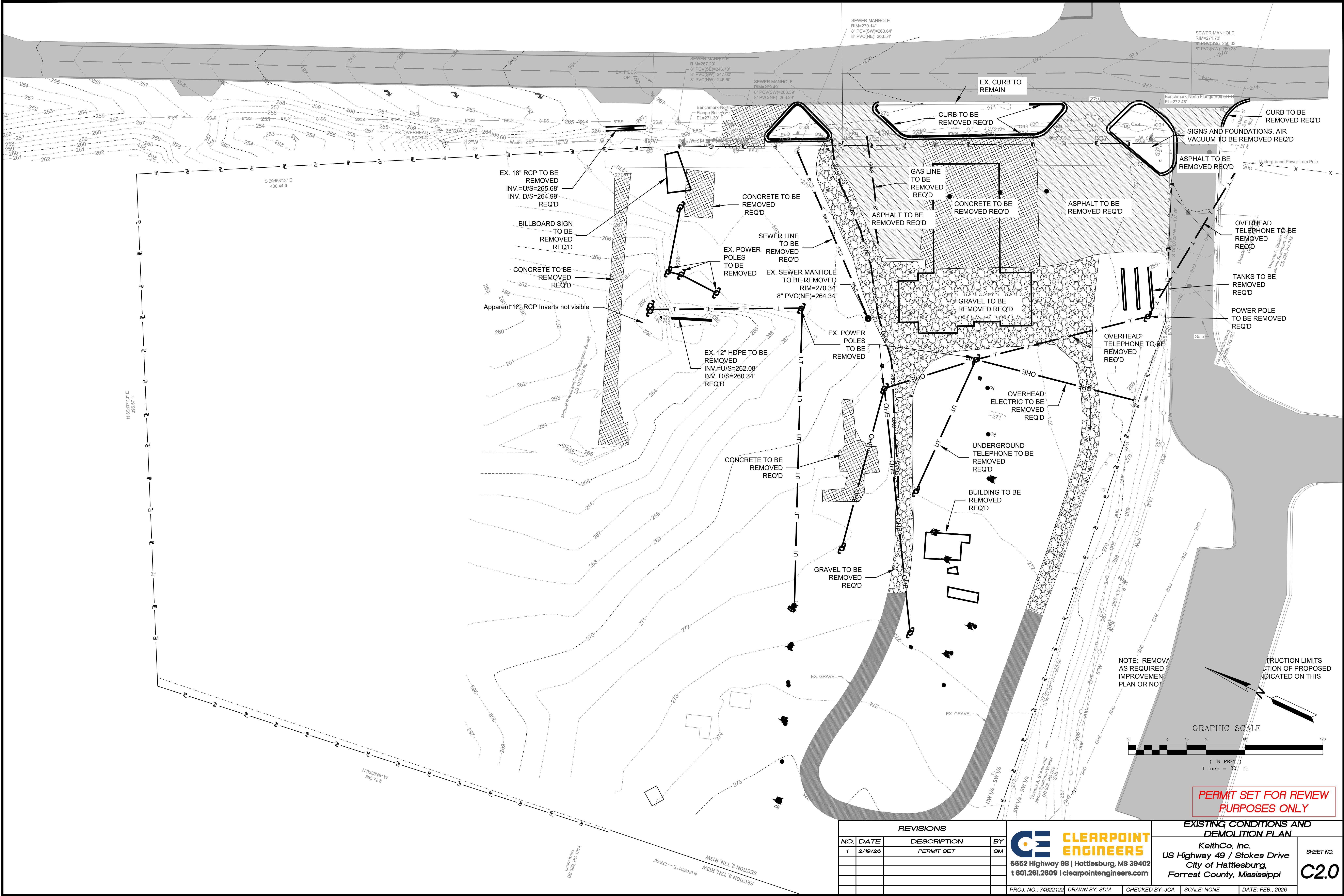
AC	ACRES	F.G.	FINISHED GROUND	PM	PLAN MEASURE
AEA	AVERAGE END AREA	FL	FINAL LINE	PMH	PROPOSED MANHOLE
AH	ABSORBED HAUL	FM	FINAL MEASURE	POB	POINT OF BEGINNING
APR	AS PER RECORD	FME	FINAL MEASURE EMBANKMENT	POC	POINT OF COMMENCEMENT
APS	AS PER SURVEY	GA	GAUGE	PRC	POINT OF REVERSE CURVATURE
BC-1	BRANCH CONNECTION	GP	GROUP	PROP.	PROPOSED
C.B.	CHORD BEARING	H.D.	HEAVY DUTY	PT	POINT OF TANGENCY
C.L.	CHORD LENGTH	HP	HIGH POINT	R	CURVE RADIUS
CL	CLASS	HYD	HYDRANT	R.D.	ROOF DRAIN
CMP	CORRUGATED METAL PIPE	INV.	INVERT	R.O.W.	RIGHT-OF-WAY
CONT.	CONTINUOUS	IPF	IRON PIPE FOUND	RCAP	REINFORCED CONCRETE ARCH PIPE
CP	CONTROL POINT	IRCP	IRON RIB CURVE	RCF	REINFORCED CONCRETE PIPE
CONP.	CORRUGATED PLASTIC PIPE	L	CURVE LENGTH	REQD.	REQUIRED
ELEV.	ELEVATION	LB	POUNDS	RT	RIGHT
CY	CUBIC YARDS	LD	LONG FEET	SF	SQUARE FEET
DS	DOWNSTREAM	LP	LOW POINT	STA.	STATION
E+	EASTING	LS	EACH WAY	SY	SQUARE YARD
E.W.	EACH WAY	LS	LOW POINT	TEMP.	TEMPORARY
EA.	EACH	LT	LEFT	T.O.C.	TOP OF CURB
E.G.	EXISTING GROUND	MPF	METAL PIPE FOUND	TRF	TYPICAL
E.G.	ELEVATION	NBY.	NORTH	U.G.	UNDERGROUND
EMH	EXISTING MANHOLE	O.A.	ON CENTER	UPFIRM	UPSTREAM
EX	EXISTING	OS	OFFSET	V.C.	VERTICAL CURVE
F.B.	FLAT BOTTOM	PC	POINT OF CURVATURE	V.F.	VERTICAL FOOT
FEM	FOUND CONCRETE MARKER	PC-1	PIPE COLLAR	WF	WATER VALE
FCS	FLARED END SECTION	PK-F	PINE KNOT FOUND		

LEGEND

	TEMPORARY HAY BALES		SUBJECT PROPERTY BOUNDARY
	PROP. REMOTE FIRE DEPT. CONNECTION		PROP. RIGHT-OF-WAY OR EASEMENT
	PROP. FIRE HYDRANT WITH VALVE		EX. RIGHT-OF-WAY OR EASEMENT
	PROP. GATE VALVE		PUBLIC LAND SYSTEM (40/SECTION) LINES
	EX. FIRE HYDRANT		PROP. CENTERLINE
	EX. GATE VALVE		PROP. TEMPORARY SILT FENCE
	EX. WATER METER		CENTERLINE OF DITCH OR SWALE
	PROP. PUMP STATION & VALVE PIT		PROP. CONTOUR
	PROP. SEWER MANHOLE		EX. MAJOR TOPOGRAPHIC CONTOUR
	PROP. SEWER CLEAN-OUT		EX. MINOR TOPOGRAPHIC CONTOUR
	PROP. GREASE TRAP		PROP. SETBACKS
	PROP. DOMESTIC WATER SERVICE		PROP. CONSTRUCTION LIMITS
	PROP. FIRE PROTECTION SERVICE		RAILROAD TRACKS
	PROP. SEWER SERVICE		WOOD FENCE
	EX. PUMP STATION WITH VALVE PIT		EX. CHAIN LINK FENCE
	EX. SEWER MANHOLE		EX. BARBED-WIRE FENCE
	EX. SEWER CLEAN-OUT		EX. TREE LINE
	PROP. LIGHT POLE		EX. EDGE OF PAVEMENT
	EX. LIGHT POLE		EX. 100 YEAR FLOODPLAIN BOUNDARY (PLOTTED FROM FIRM)
	EX. UTILITY POLE		PROP. ROADWAY DAYLIGHT LINE
	EX. GUY WIRE		PROP. STORM DRAINAGE PIPE WITH F.E.S.
	EX. POWER TRANSFORMER		EX. STORM DRAINAGE PIPE WITH F.E.S.
	PROP. HEAVY-DUTY GRATE INLET		PROP. WATER LINE (WITH SIZE)
	PROP. LIGHT-DUTY YARD INLET		PROP. GRAVITY SEWER MAIN (WITH SIZE)
	PROP. JUNCTION BOX		PROP. FORCE MAIN (WITH SIZE)
	PROP. CURB INLET WITH EXTENSION		EX. WATER MAIN (WITH SIZE)
	EX. HEAVY-DUTY GRATE INLET		EX. GRAVITY SEWER MAIN (WITH SIZE)
	EX. LIGHT-DUTY YARD INLET		EX. SEWER FORCE FORCE MAIN (WITH SIZE)
	EX. JUNCTION BOX		EX. GAS LINE (WITH SIZE)
	EX. CURB INLET WITH EXTENSION		EX. HIGH PRESSURE GAS LINE
	FINISHED GRADE SPOT ELEVATION		EX. OVERHEAD POWER LINE
	DIRECTION OF SURFACE FLOW		EX. UNDERGROUND POWER LINE
	HORIZONTAL/VERTICAL CONTROL POINT		EX. OVERHEAD TELEPHONE
	BURIED FIBER OPTIC MARKER		EX. UNDERGROUND TELEPHONE LINE
	BENCHMARK		EX. UNDERGROUND FIBER OPTIC LINE
	HANDICAP		EX. BURIED CABLE (UNKNOWN)
	TRAFFIC ARROW		PROP. IRRIGATION SLEEVE
	ROADWAY SIGN		HEAVY DUTY PAVEMENT
	BORE HOLE		LANDSCAPED SURFACE
	CONCRETE RIGHT-OF-WAY MARKER		CONCRETE SURFACE
	PROPERTY CORNER		RIP-RAP SURFACE
	HVAC UNIT		FLEXAMAT SURFACE
	FLAG POLE		
	WHEEL STOP		

PERMIT SET FOR REVIEW PURPOSES ONLY

REVISIONS							NOTES, LEGEND AND ABBREVIATIONS		
NO.	DATE	DESCRIPTION	BY	6652 Highway 98 Hattiesburg, MS 39402			Keith Co, Inc.		
1	2/19/26	PERMIT SET	SM	t 601.261.2609 clearpointengineers.com			US Highway 49 / Stokes Drive		
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				DRAWN BY: SDM			Forrest County, Mississippi		
				CHECKED BY: JCA			SHEET NO.		
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				DATE: FEB., 2026					



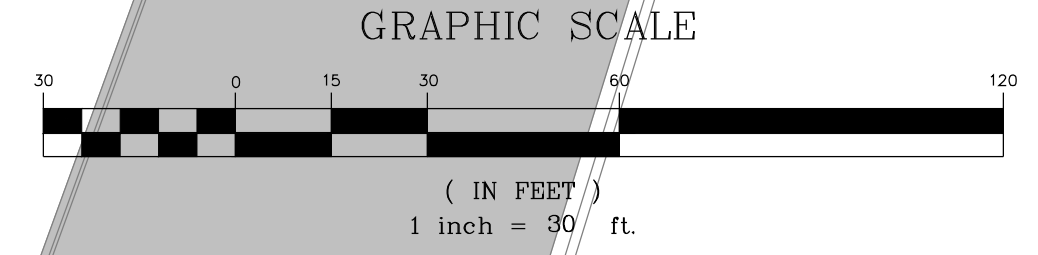
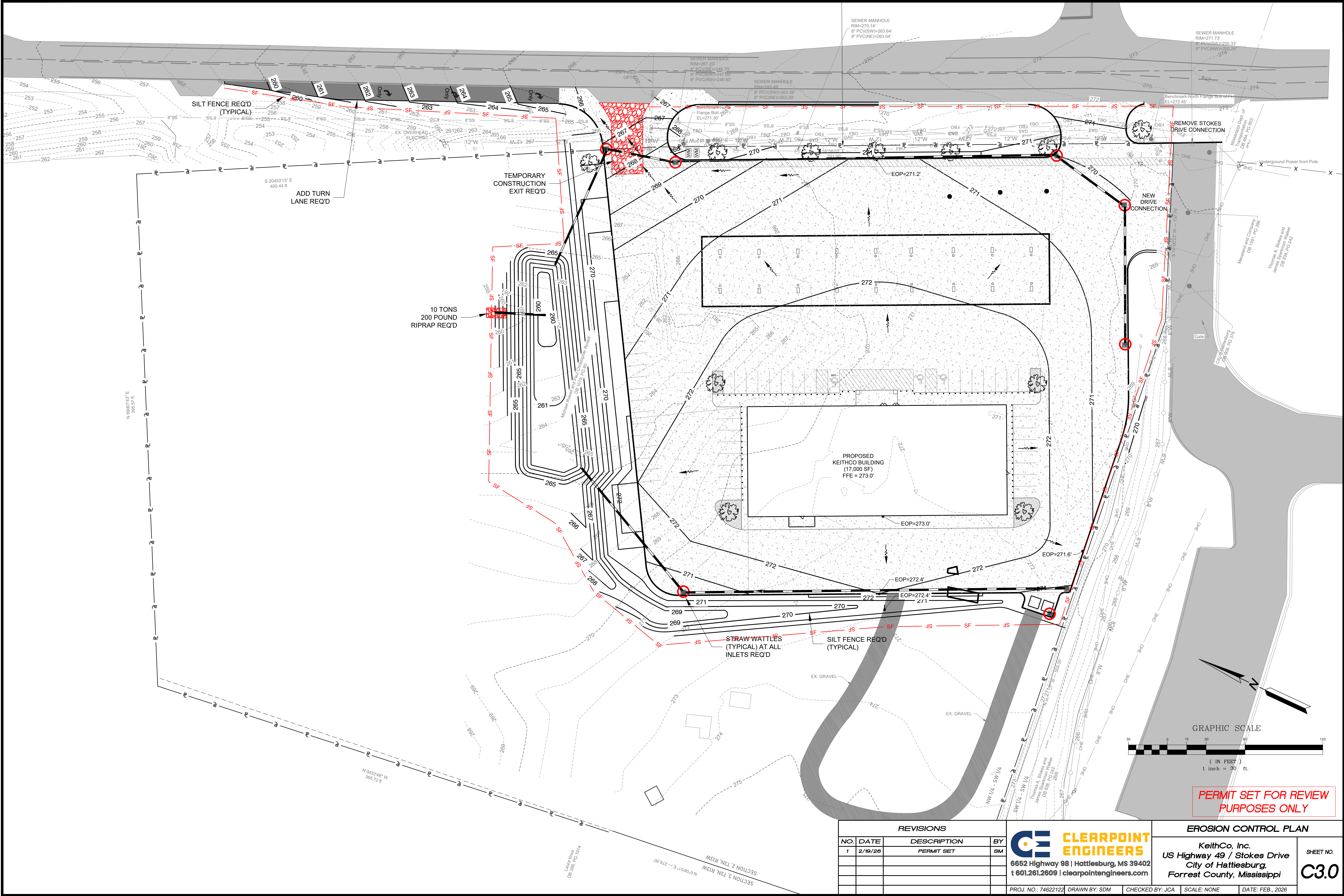
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EXISTING CONDITIONS AND DEMOLITION PLAN
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 US Highway 49 / Stokes Drive
 City of Hattiesburg,
 Forrest County, Mississippi

SHEET NO.
C2.0



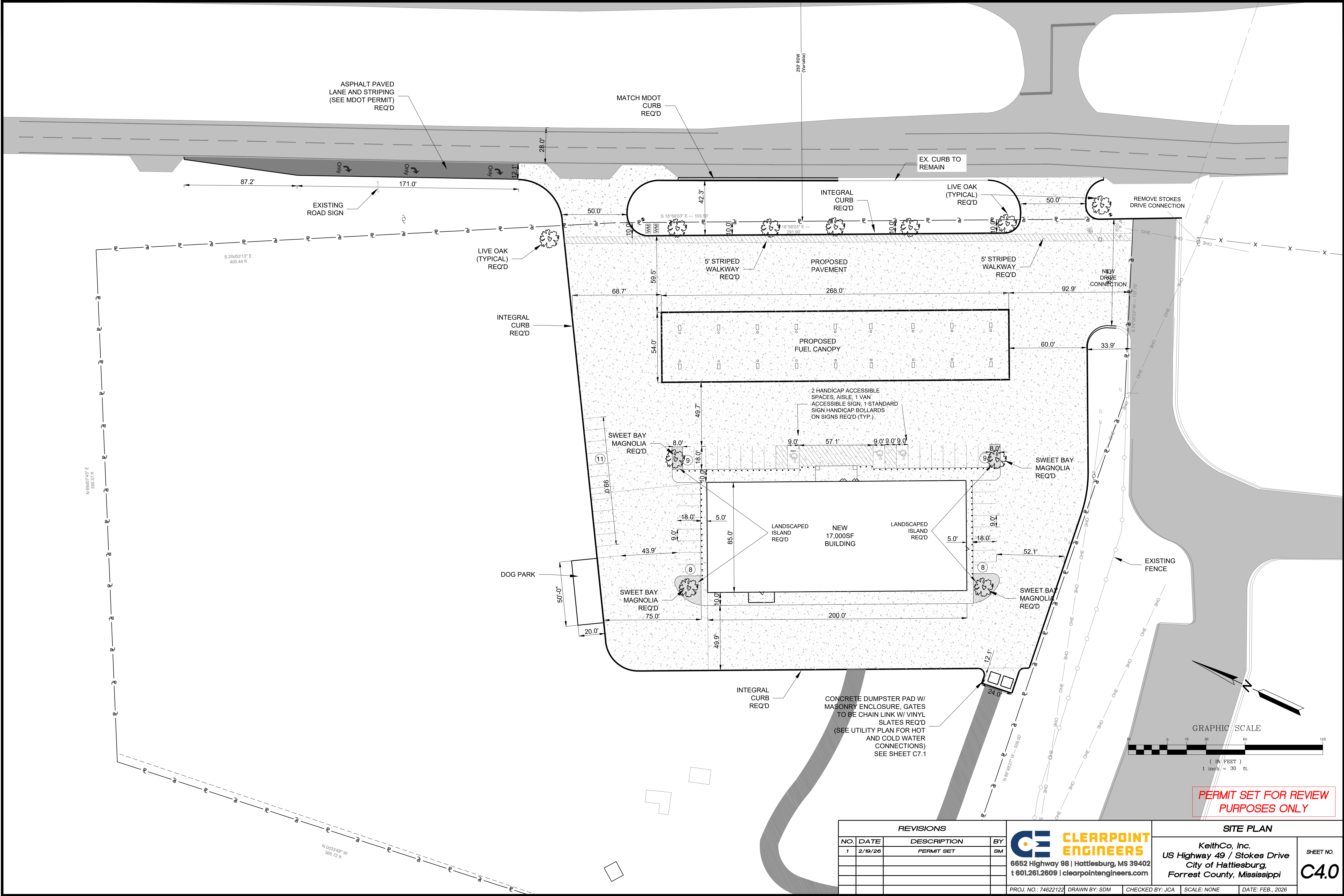
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EROSION CONTROL PLAN
 KeithCo, Inc.
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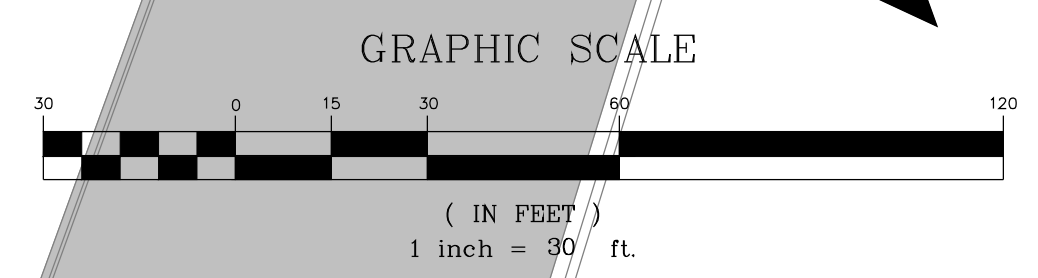
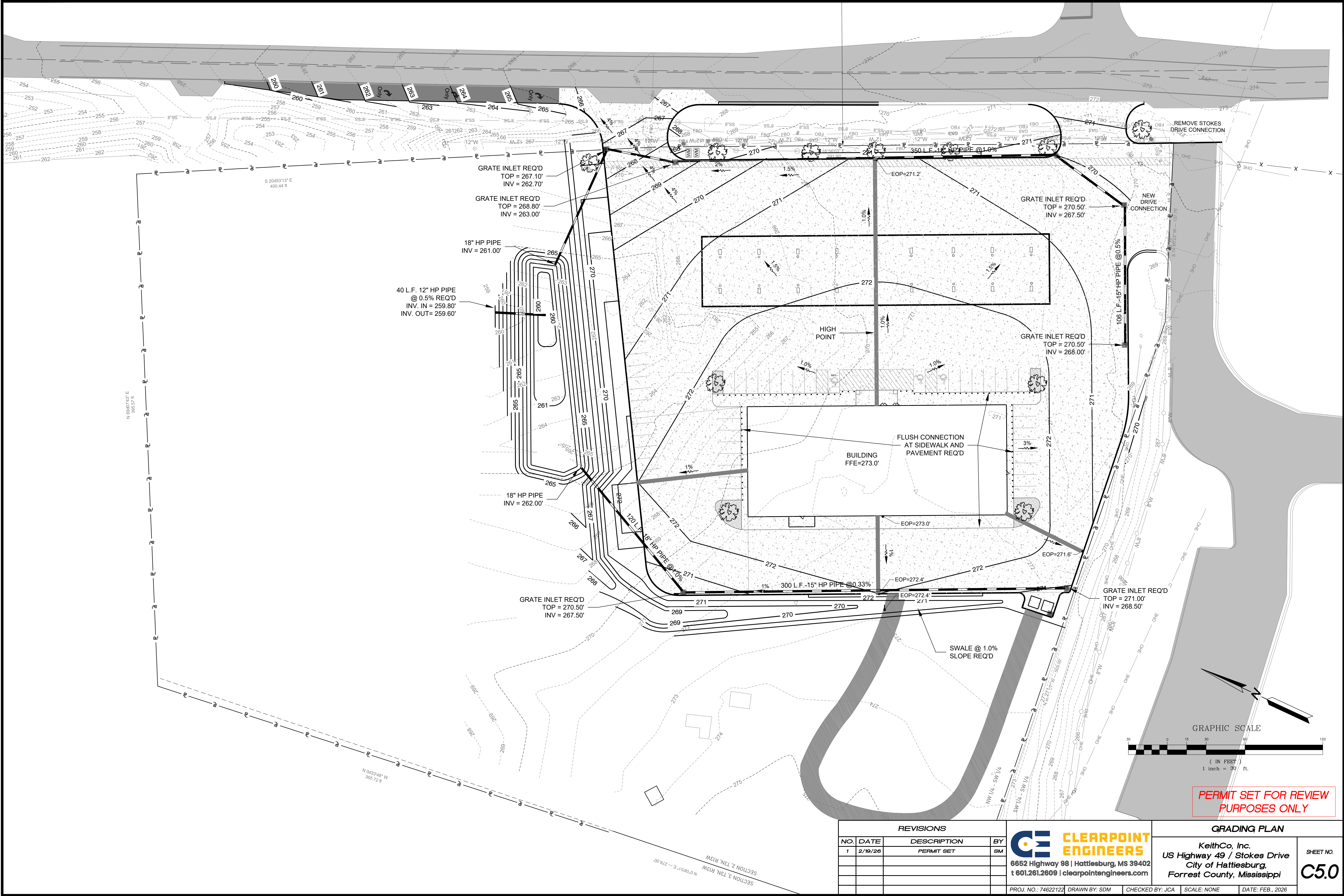
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SITE PLAN

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 Forrest County, Mississippi

SHEET NO.
C4.0

PROJ. NO.: 74622122 | DRAWN BY: SDM | CHECKED BY: JCA | SCALE: NONE | DATE: FEB., 2026



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REVISIONS			
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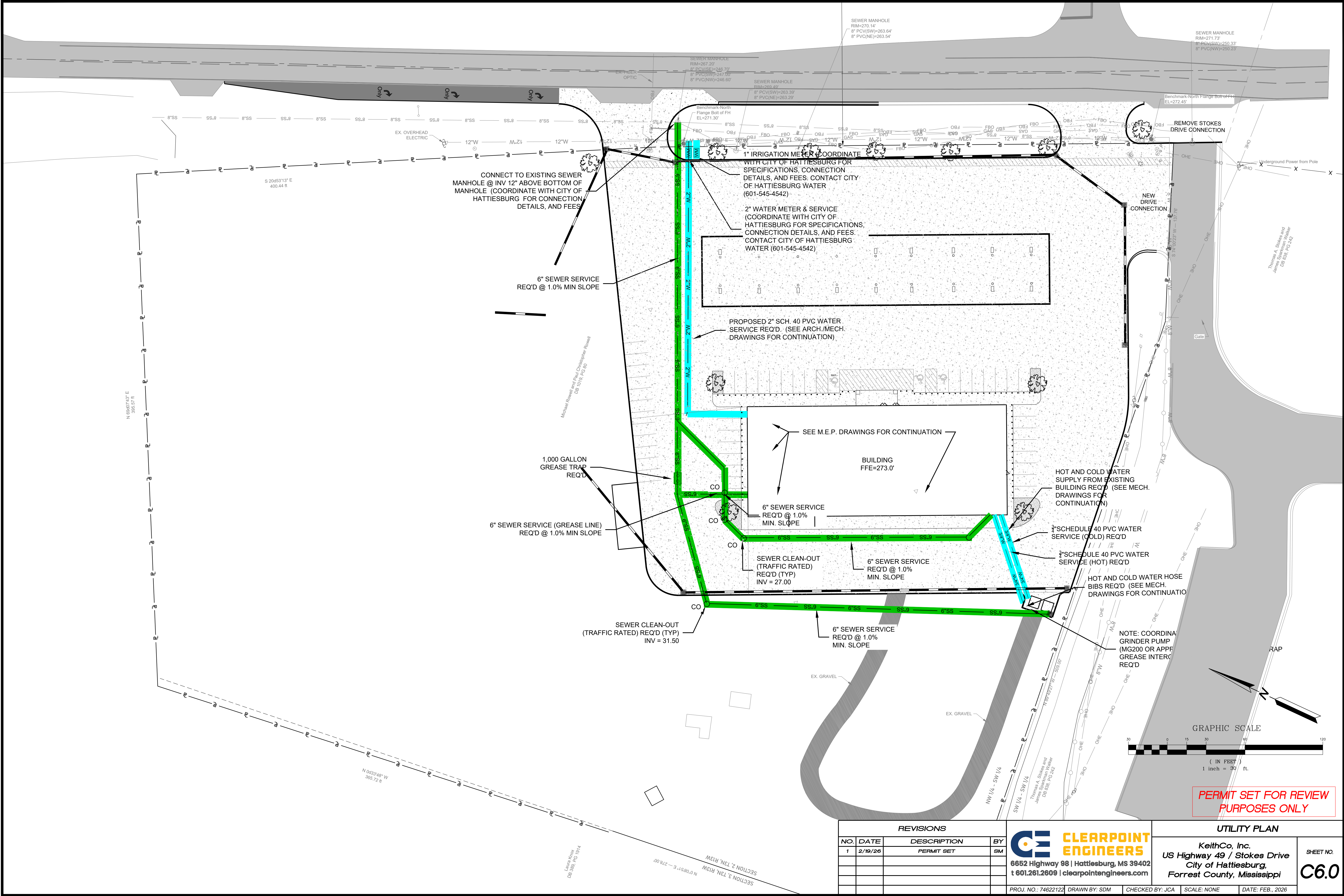
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GRADING PLAN
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SHEET NO.
C5.0

PROJ. NO.: 74622122 DRAWN BY: SDM CHECKED BY: JCA SCALE: NONE DATE: FEB., 2026

Drawing Location: C:\Users\smurray\Desktop\Clearpoint\74622122-Keithco Hattiesburg\DWG\74622122-CIVIL.dwg



CONNECT TO EXISTING SEWER MANHOLE @ INV 12" ABOVE BOTTOM OF MANHOLE (COORDINATE WITH CITY OF HATTIESBURG FOR CONNECTION DETAILS, AND FEES)

1" IRRIGATION METER COORDINATE WITH CITY OF HATTIESBURG FOR SPECIFICATIONS, CONNECTION DETAILS, AND FEES. CONTACT CITY OF HATTIESBURG WATER (601-545-4542)

2" WATER METER & SERVICE (COORDINATE WITH CITY OF HATTIESBURG FOR SPECIFICATIONS, CONNECTION DETAILS, AND FEES. CONTACT CITY OF HATTIESBURG WATER (601-545-4542)

6" SEWER SERVICE REQ'D @ 1.0% MIN SLOPE

PROPOSED 2" SCH. 40 PVC WATER SERVICE REQ'D. (SEE ARCH./MECH. DRAWINGS FOR CONTINUATION)

SEE M.E.P. DRAWINGS FOR CONTINUATION

BUILDING FFE=273.0'

HOT AND COLD WATER SUPPLY FROM EXISTING BUILDING REQ'D (SEE MECH. DRAWINGS FOR CONTINUATION)

1,000 GALLON GREASE TRAP REQ'D

6" SEWER SERVICE (GREASE LINE) REQ'D @ 1.0% MIN SLOPE

6" SEWER SERVICE REQ'D @ 1.0% MIN. SLOPE

1/2" SCHEDULE 40 PVC WATER SERVICE (COLD) REQ'D

1/2" SCHEDULE 40 PVC WATER SERVICE (HOT) REQ'D

HOT AND COLD WATER HOSE BIBS REQ'D (SEE MECH. DRAWINGS FOR CONTINUATION)

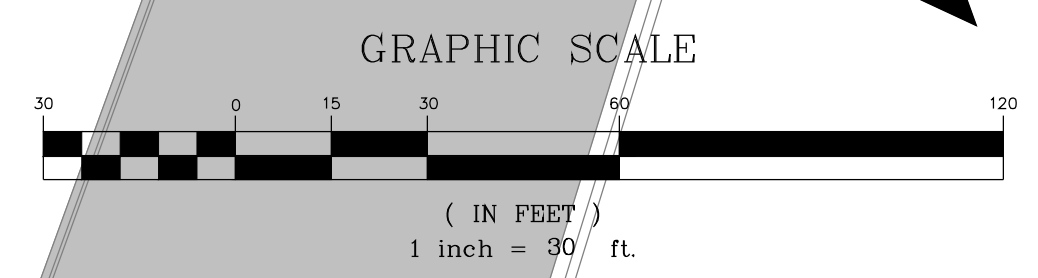
SEWER CLEAN-OUT (TRAFFIC RATED) REQ'D (TYP) INV = 27.00

6" SEWER SERVICE REQ'D @ 1.0% MIN. SLOPE

NOTE: COORDINATE GRINDER PUMP (MG200 OR APPX) GREASE INTERC REQ'D

SEWER CLEAN-OUT (TRAFFIC RATED) REQ'D (TYP) INV = 31.50

6" SEWER SERVICE REQ'D @ 1.0% MIN. SLOPE



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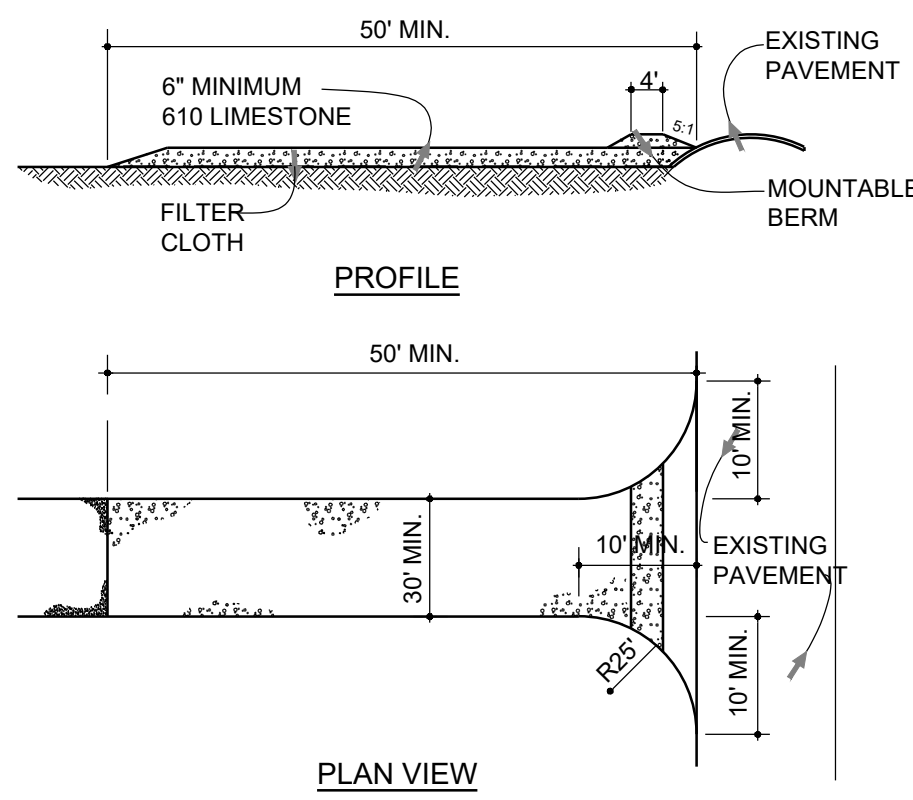
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UTILITY PLAN
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 Forrest County, Mississippi

SHEET NO.
C6.0

610 LIMESTONE IS NOT REQUIRED FOR CONSTRUCTION EXIT

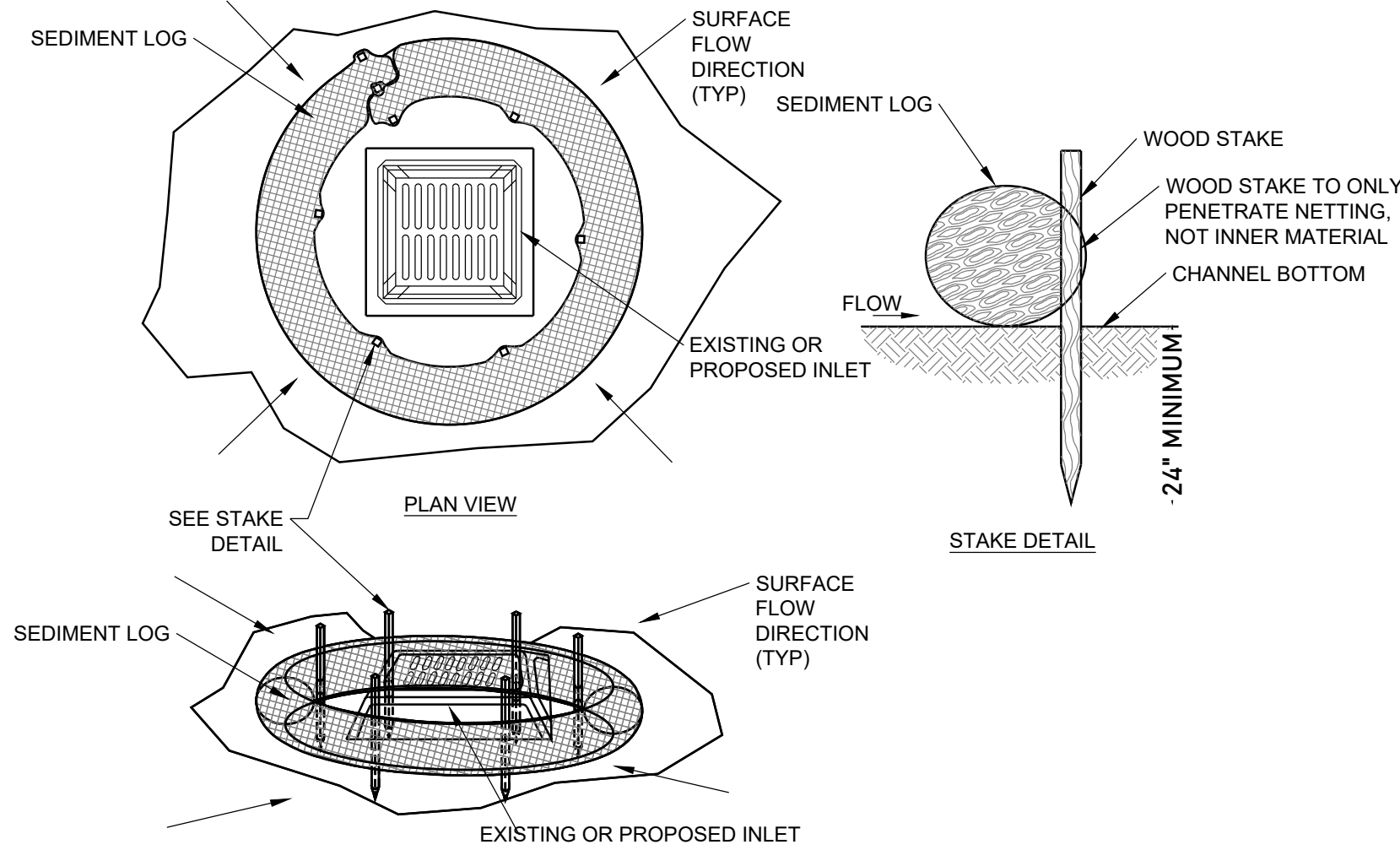


STABILIZED CONSTRUCTION EXIT

- STONE SIZE - USE #2 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- DEPTH - NOT LESS THAN SIX (6) INCHES.
- WIDTH - THIRTY (30) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

TEMPORARY CONSTRUCTION EXIT

SCALE: NOT TO SCALE



3 SEDIMENT LOG INLET PROTECTION

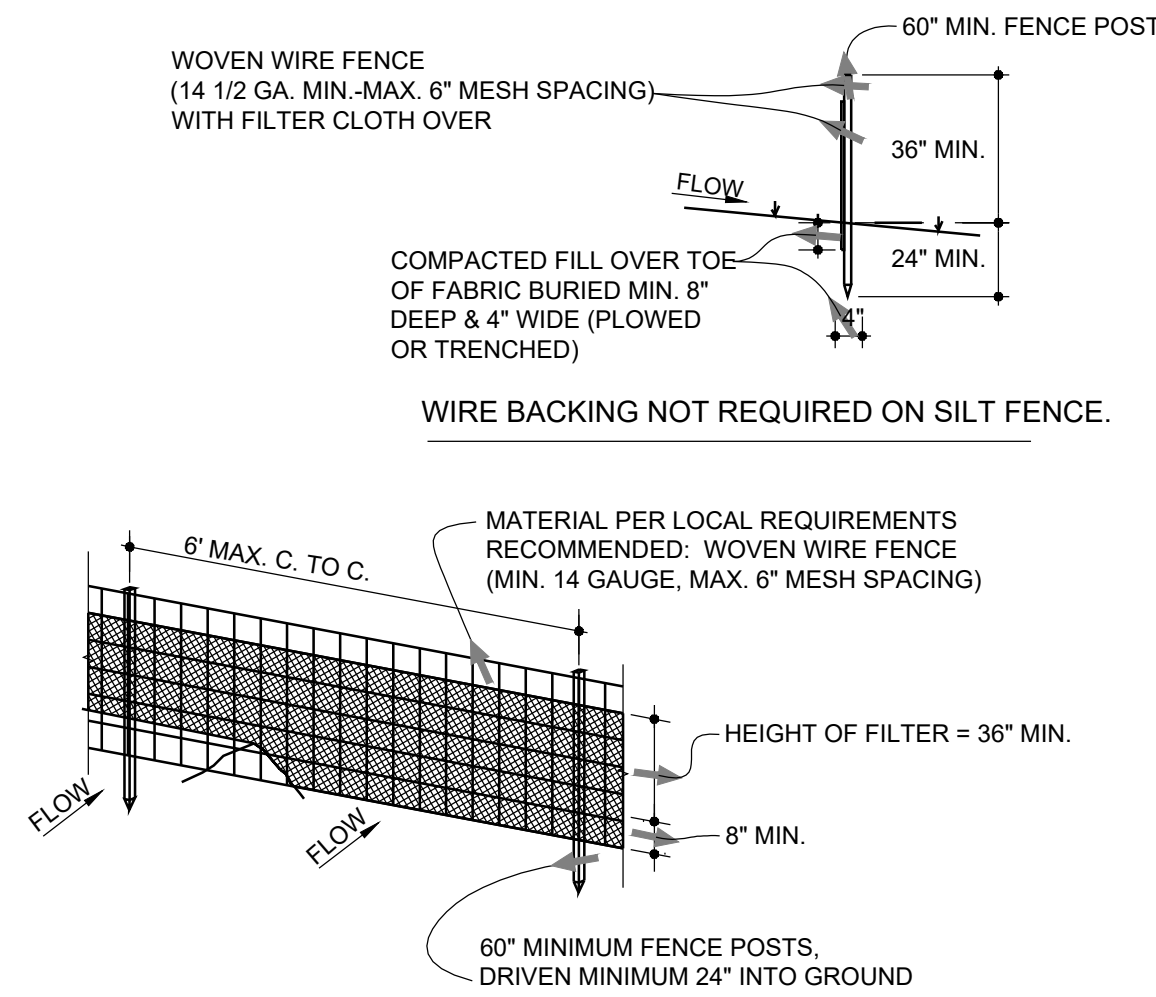
SCALE: NOT TO SCALE

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY (6) INCHES AND FOLDED.
 - LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE
 POSTS: LOCATED MAXIMUM 6' O. C.
 FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL.
 PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

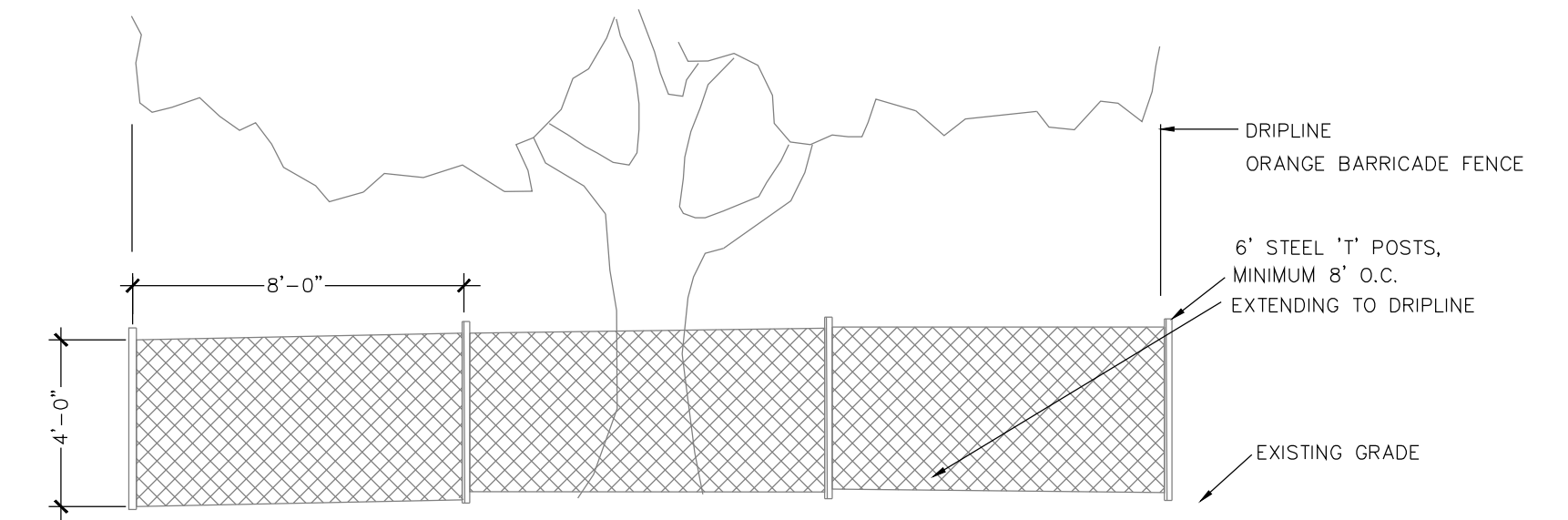
TREE PROTECTION NOTES:

- THE CRITICAL ROOT AREA OF THE TREES THAT ARE INDICATED TO REMAIN MUST BE PROTECTED, AT A MINIMUM, BY A PROTECTIVE FENCE LOCATED AT A RADIUS MEASURED 1.25 FEET FOR EVERY INCH IN DIAMETER OF THE TREE, OR AT THE DRIP LINE, WHICHEVER IS GREATER. FOR A GROUP OF TREES, A PROTECTIVE FENCE SHALL BE PLACED OUTSIDE THE CRITICAL ROOT RADIUS OF ALL TREES IN THE GROUP.
- AFTER THE AREAS TO BE SELECTIVELY CLEARED ARE COMPLETED, THE CONTRACTOR SHALL INSTALL THE TREE BARRIER AS INDICATED AROUND THOSE AREAS.
- ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.



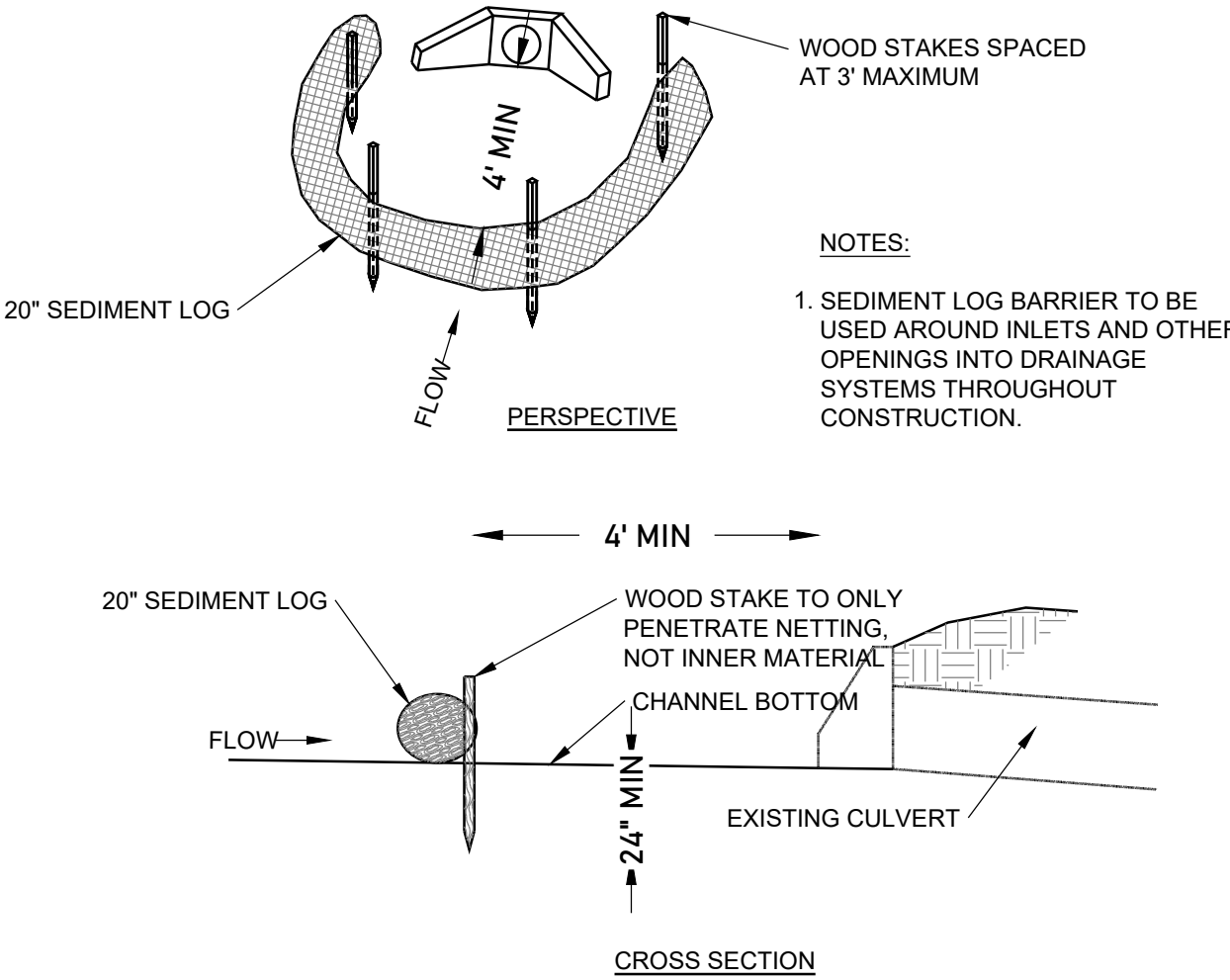
7 SILT FENCE EROSION PROTECTION

SCALE: NOT TO SCALE



6 TREE PROTECTION - ORANGE BARRIER DETAIL

SCALE: NOT TO SCALE



4 SEDIMENT LOG CULVERT SEDIMENT BARRIER

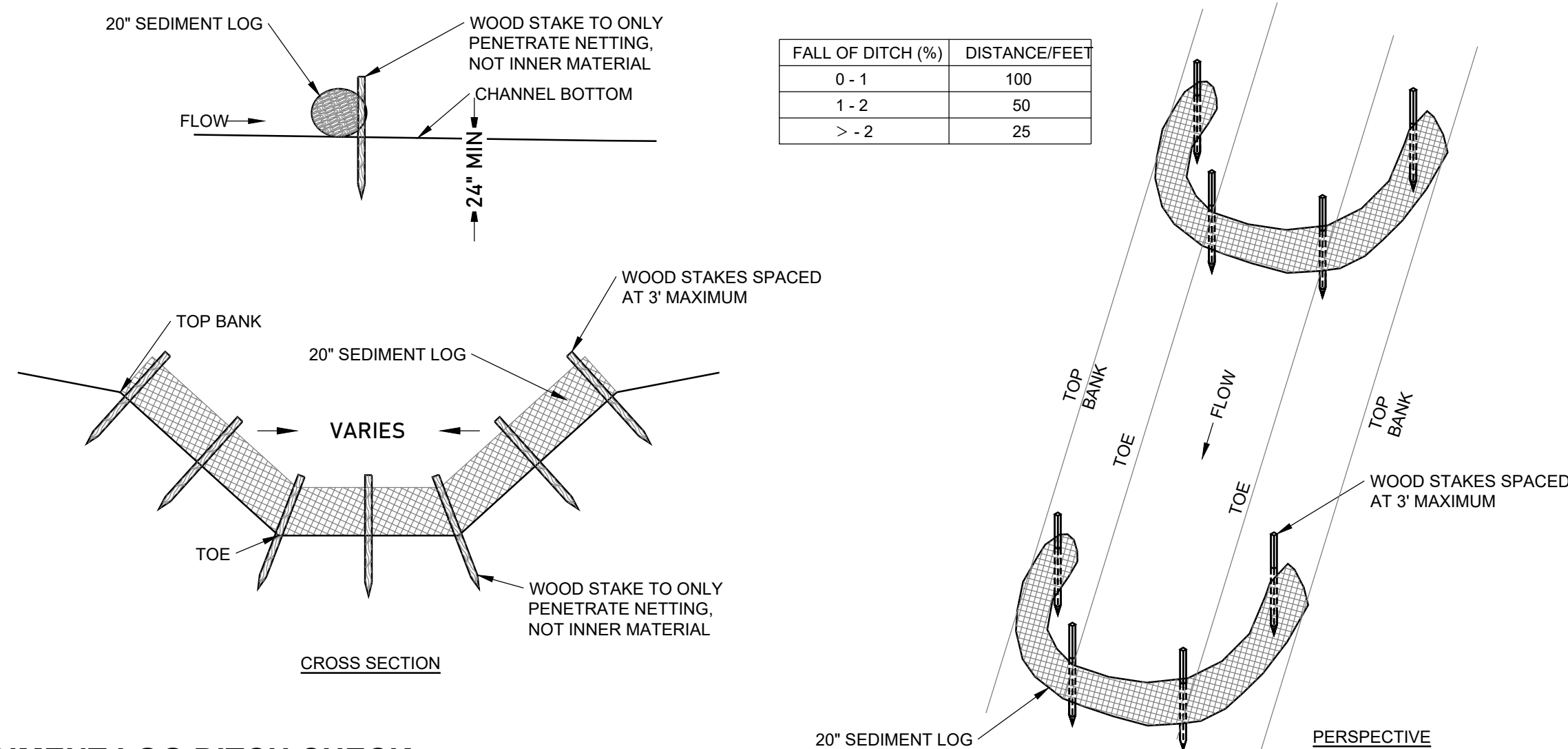
SCALE: NOT TO SCALE

- ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, MULCHED AND/OR SODDED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION.
- SILT FENCES AND HAY BALES SHALL BE USED AS SHOWN AND AS DIRECTED BY THE ENGINEER TO CONTROL SOIL EROSION.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND/OR HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE STATE OF MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) OFFICE OF POLLUTION CONTROL (OPC) STORM WATER CONSTRUCTION GENERAL PERMIT FOR ALL EROSION CONTROL DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REPORTING ANY MAINTENANCE AS REQUIRED BY THE STATE OF MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) OFFICE OF POLLUTION CONTROL (OPC) STORM WATER CONSTRUCTION GENERAL PERMIT DURING CONSTRUCTION ACTIVITIES.
- PROVISIONS SHALL BE MADE TO PROTECT DOWNSTREAM WATERCOURSES (I.E., STORM SEWER SYSTEMS, DITCHES, WETLANDS, ETC.) FROM SEDIMENT RUNOFF DEVELOPED FROM THE CONSTRUCTION PROCESS. PROVISIONS INCLUDE, BUT ARE NOT LIMITED TO, STRUCTURAL CONTROLS SUCH AS SILT FENCING, GEOTEXTILE FABRIC PROTECTION OF STORM SEWERS, HAY BALES, DIKES AND SANDBAG BERM; AND/OR VEGETATION CONTROLS SUCH AS SEEDING OR EXISTING VEGETATIVE BUFFER STRIPS (MINIMUM 25 FEET WIDE).
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATIONS SHOWN ON PLANS.
- CONTRACTOR SHALL PERFORM DAILY STREET CLEANING ON ROADS AND STREETS ADJACENT TO THE PROJECT WHICH ARE USED AS ACCESS ROUTES FOR CONSTRUCTION TRAFFIC IF DIRT AND MUD IS NOT ADEQUATELY REMOVED FROM VEHICLES AT THE STABILIZED CONSTRUCTION EXITS.
- LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORMWATER CONVEYANCE SYSTEMS. USE A MINIMUM 60 MIL POLYETHYLENE LINER UNDER ABOVE GROUND STORAGE TANKS. USE 2 FOOT HIGH BERMS AROUND FUEL STORAGE AREAS.
- CONTRACTOR WILL ADVISE OWNER IMMEDIATELY, VERBALLY, AND IN WRITING, OF ANY FUEL SPILLS ONTO THE PROJECT/CONSTRUCTION AREA AND THE ACTIONS TAKEN TO REMEDY THE PROBLEM.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL ENVIRONMENTAL LAWS.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF FUELS, MATERIALS AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER.
- CONTRACTOR SHALL INSPECT ALL STRUCTURAL CONTROLS WITHIN 24 HOURS AFTER ANY STORM EVENT THAT MEETS OR EXCEEDS 0.5 INCHES OF RAINFALL IN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL EVENTS, CONTRACTOR SHALL INSPECT STRUCTURAL CONTROLS ON A DAILY BASIS. AT A MINIMUM, STRUCTURAL CONTROLS SHOULD BE INSPECTED ONCE EVERY 4 CALENDAR DAYS. A QUALIFIED REPRESENTATIVE OF THE CONTRACTOR, AS APPROVED BY THE OWNER, SHALL PROVIDE THESE INSPECTIONS. SHOULD CONTROLS BECOME INEFFECTIVE, NECESSARY REPAIRS SHALL BE PERFORMED TO RETURN THE INTEGRITY OF THE STRUCTURAL CONTROLS. REMOVE ALL SEDIMENT IF IT ACCUMULATES TO 1/3 THE HEIGHT OF THE SILT FENCE.
- CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEMS THROUGHOUT THE DURATION OF THE CONTRACT, NO SEPARATE PAY.
- CONTRACTOR WILL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS AND OTHER POTENTIALLY TOXIC MATERIALS.
- EQUIPMENT STAGING AREA TO BE DESIGNATED BY CONTRACTOR AND APPROVED BY OWNER PRIOR TO CONSTRUCTION.
- AT COMPLETION OF THE CONTRACT, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE EROSION AND SEDIMENTATION CONTROL SYSTEMS BEFORE RELIEVING CONTRACTOR OF HIS MAINTENANCE RESPONSIBILITIES.
- CONTRACTOR SHALL SOLID SOD DISTURBED AREAS IMMEDIATELY AFTER REACHING FINAL GRADE.

5 EROSION CONTROL NOTES

SCALE: NOT TO SCALE

FALL OF DITCH (%)	DISTANCE/FEET
0 - 1	100
1 - 2	50
> - 2	25



2 SEDIMENT LOG DITCH CHECK

SCALE: NOT TO SCALE

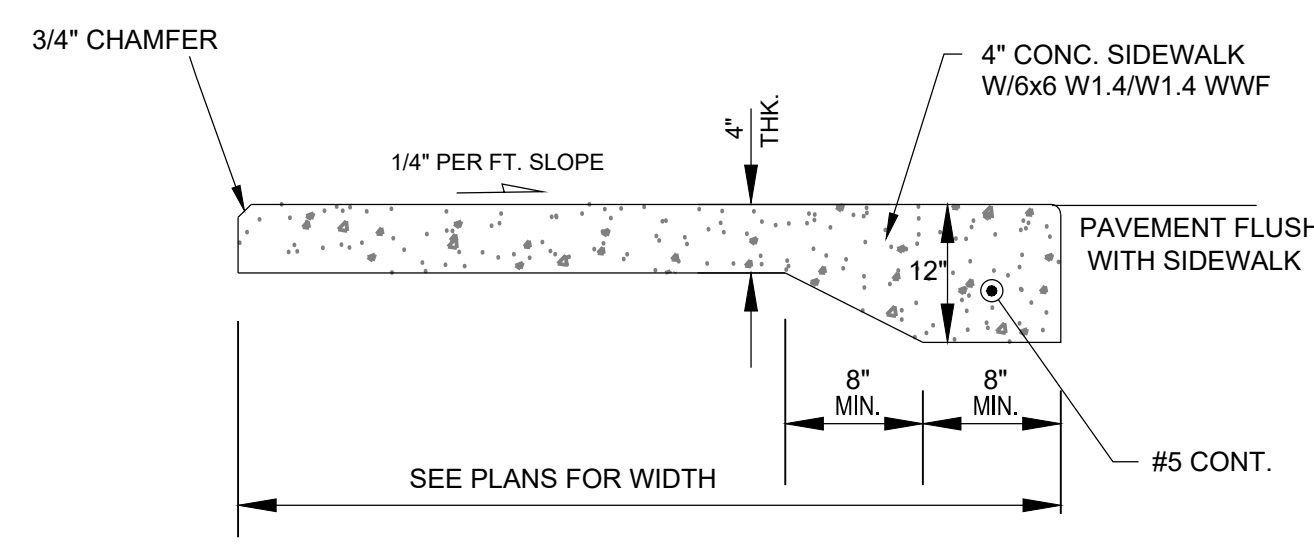
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	2/19/26	PERMIT SET	SM

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EROSION CONTROL DETAILS

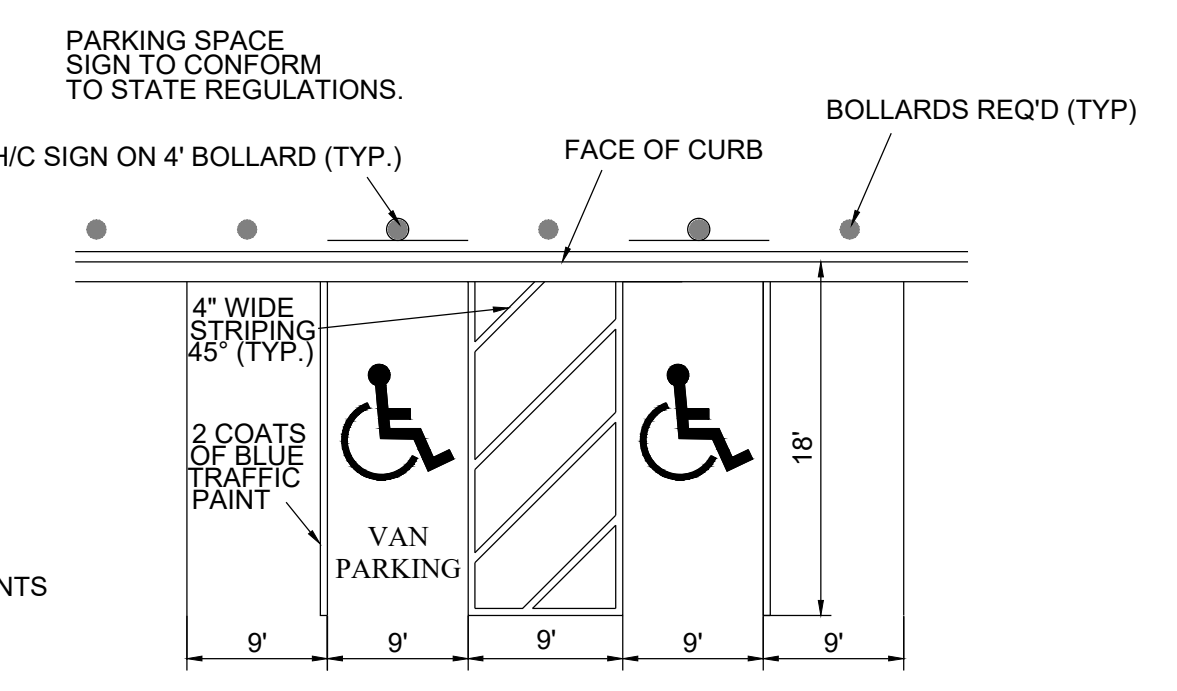
KeithCo, Inc.
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 Forrest County, Mississippi

SHEET NO.
C7.0

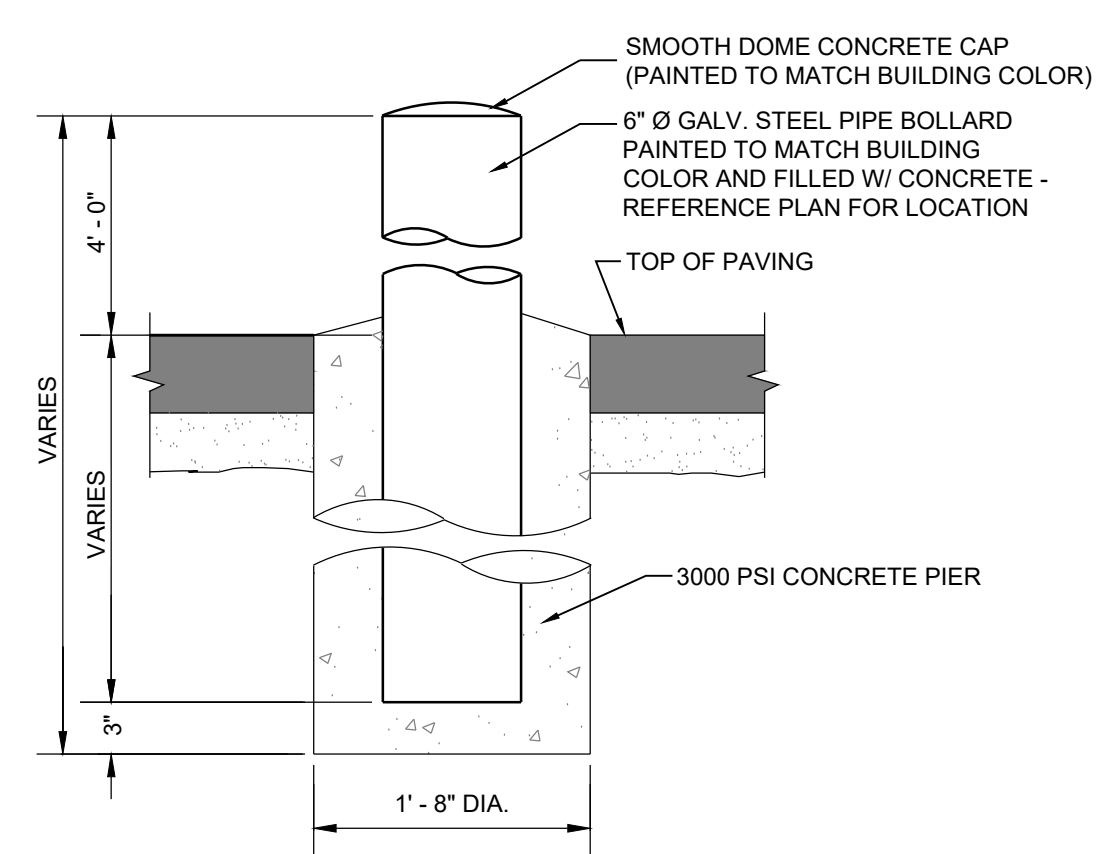


NOTES:
 1. PROVIDE CONTRACTION JOINTS AT 5'-0" O.C. MAX
 2. ALL SIDEWALK SLOPES AND WIDTHS SHALL MEET ADA REQUIREMENTS

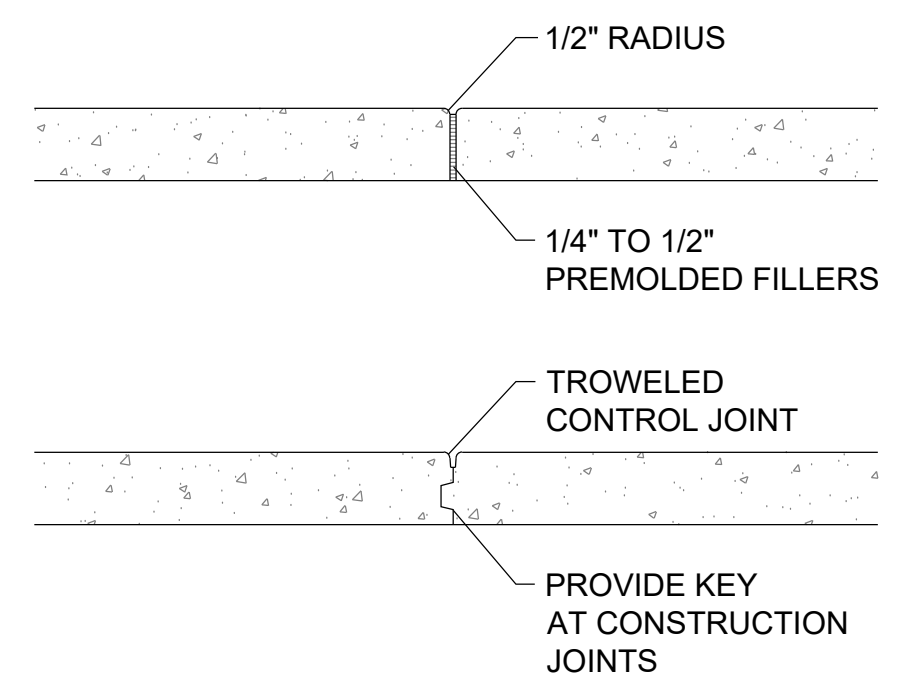
SIDEWALK DETAIL



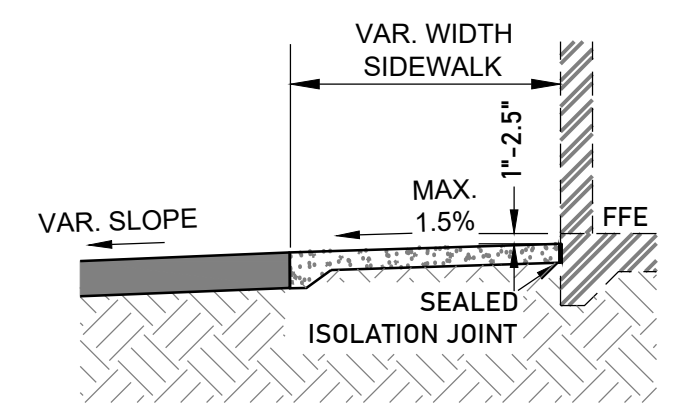
HANDICAP STRIPING



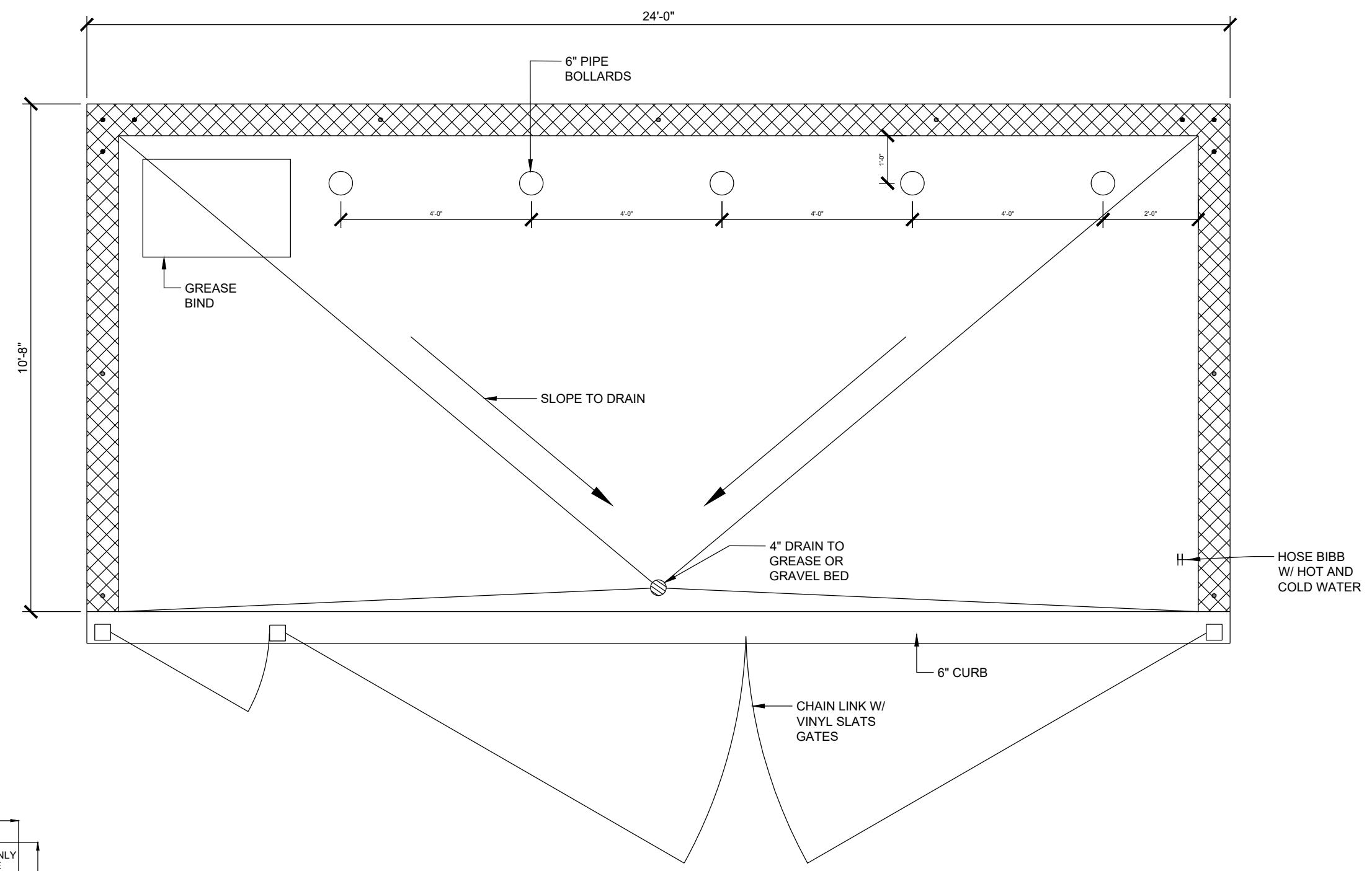
EXTERIOR PIPE BOLLARD DETAIL
NOT TO SCALE



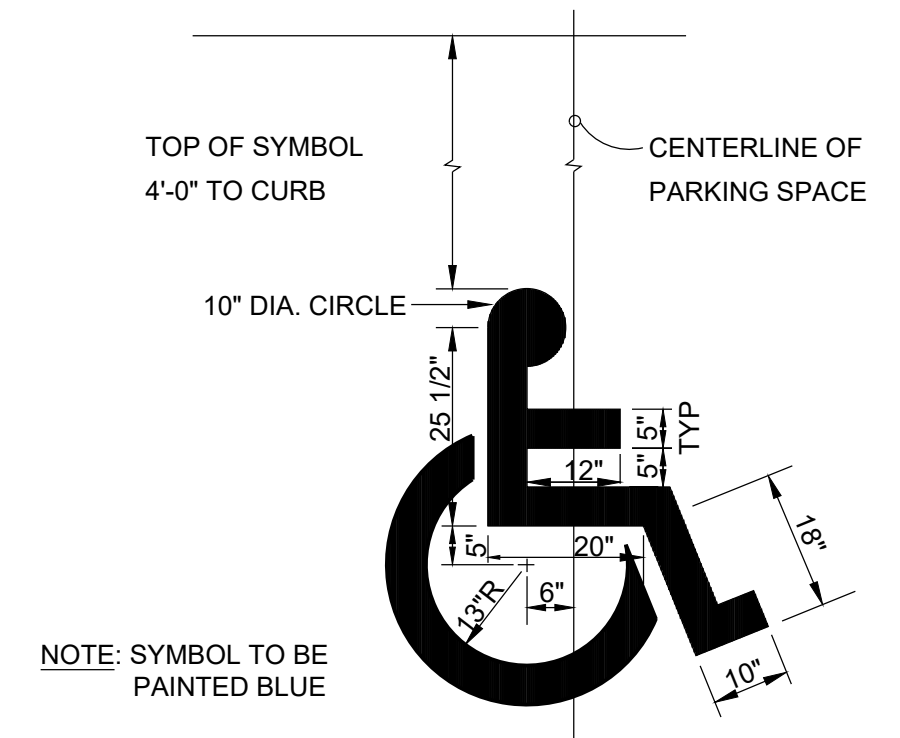
TYPICAL SIDEWALK JOINTS



SECTION FOR PAVED SIDEWALK ADJACENT TO BUILDING

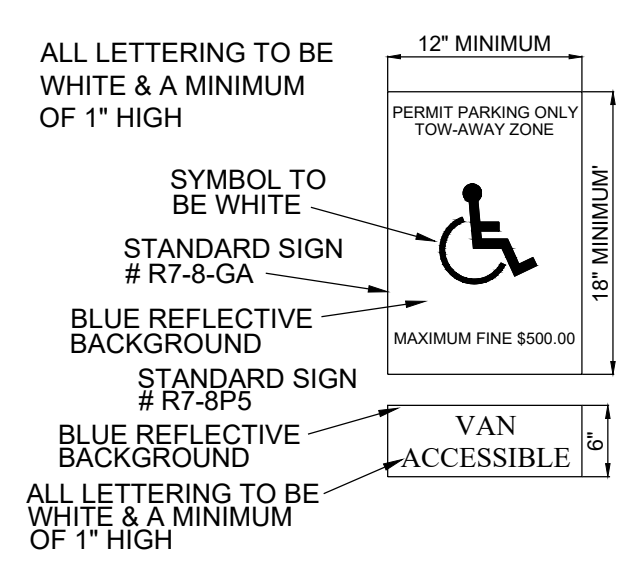
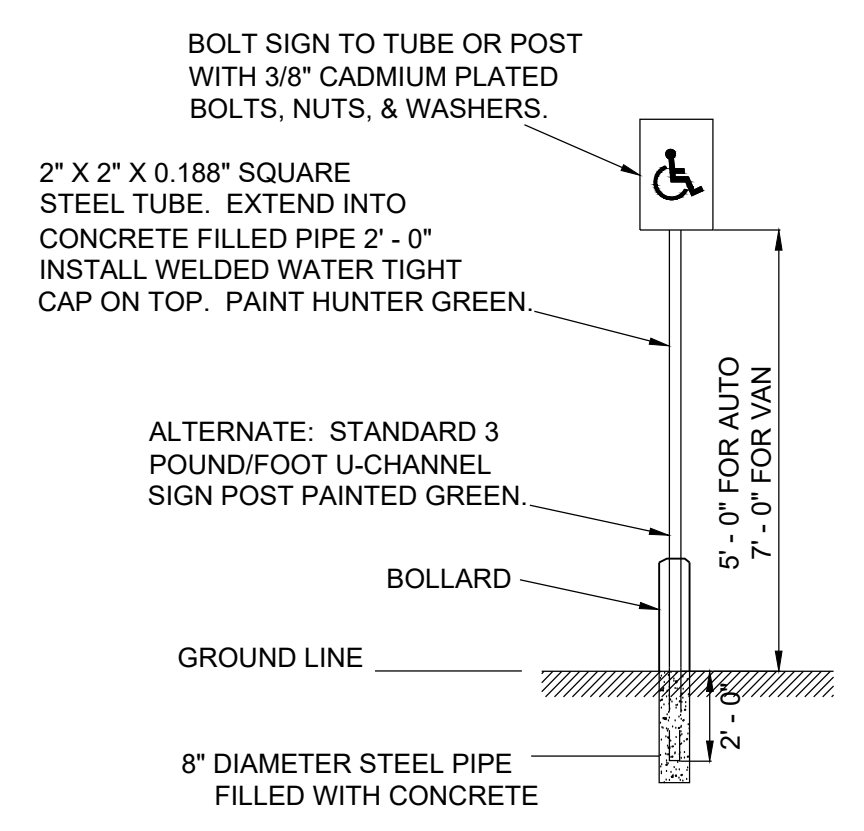


DUMPSTER PLAN
NOT TO SCALE



NOTE: SYMBOL TO BE PAINTED BLUE

INTERNATIONAL SYMBOL OF ACCESS

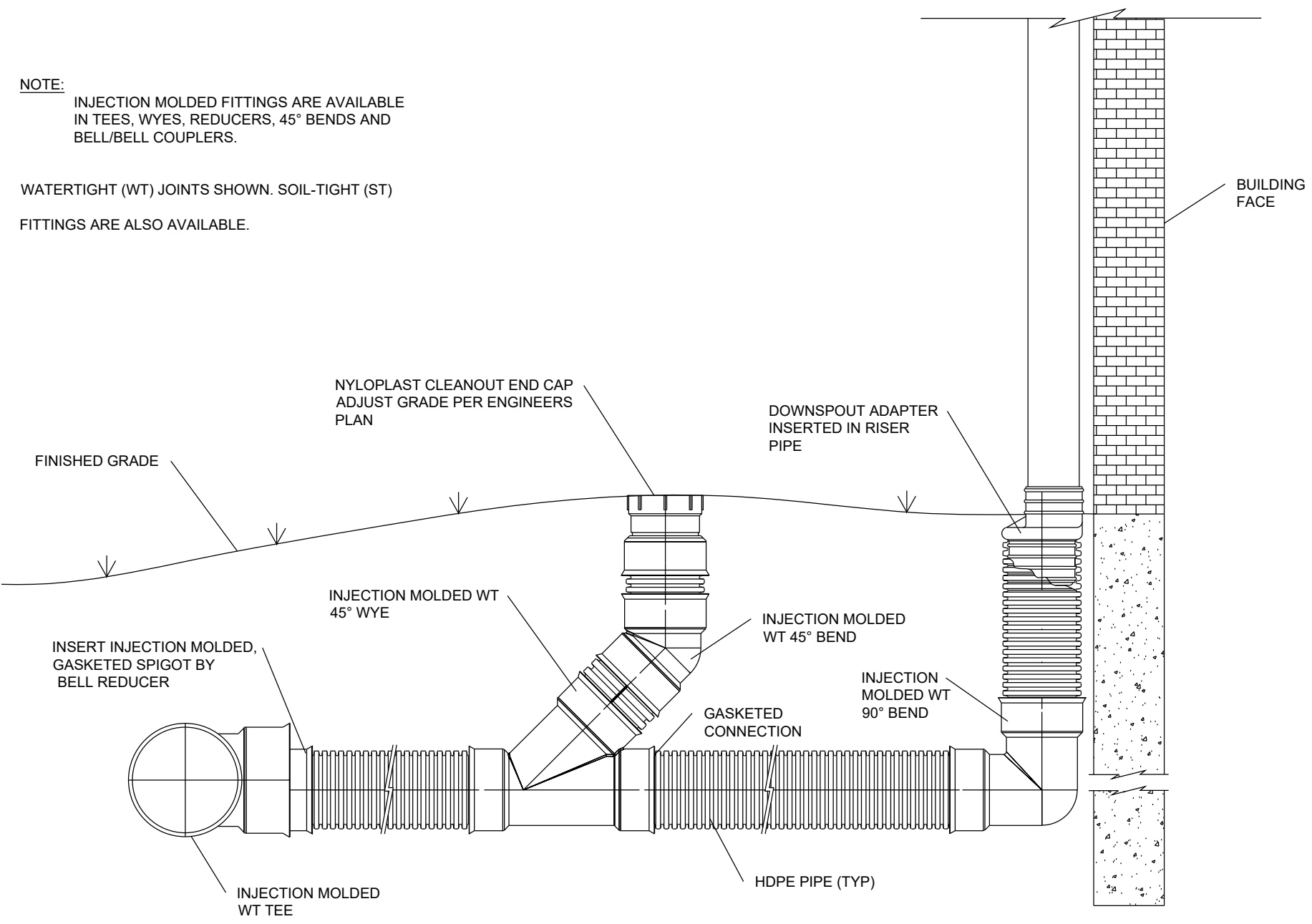


- 1. ALL SIGNS TO BE 0.080" THICK ALUMINUM.
- 2. ALL SIGNS SHALL CONFORM WITH ALL CURRENT A.D.A., FEDERAL, STATE, AND LOCAL CODES & REGULATIONS.
- 3. PLACE "VAN ACCESSIBLE" SIGN IN FRONT OF VAN ACCESSIBLE SPACES ONLY.
- 4. ALL HANDICAP STRIPING AND SIGNAGE SHALL CONFORM TO MUTCD AND ADA STANDARDS.

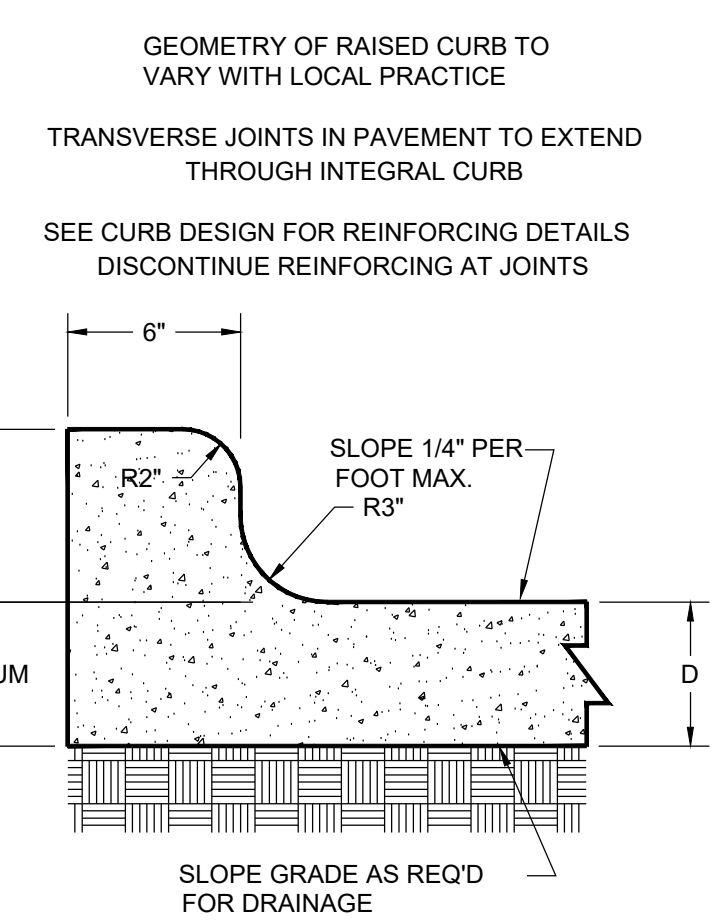
HANDICAP SIGN DETAILS

HANDICAPPED PARKING SIGN

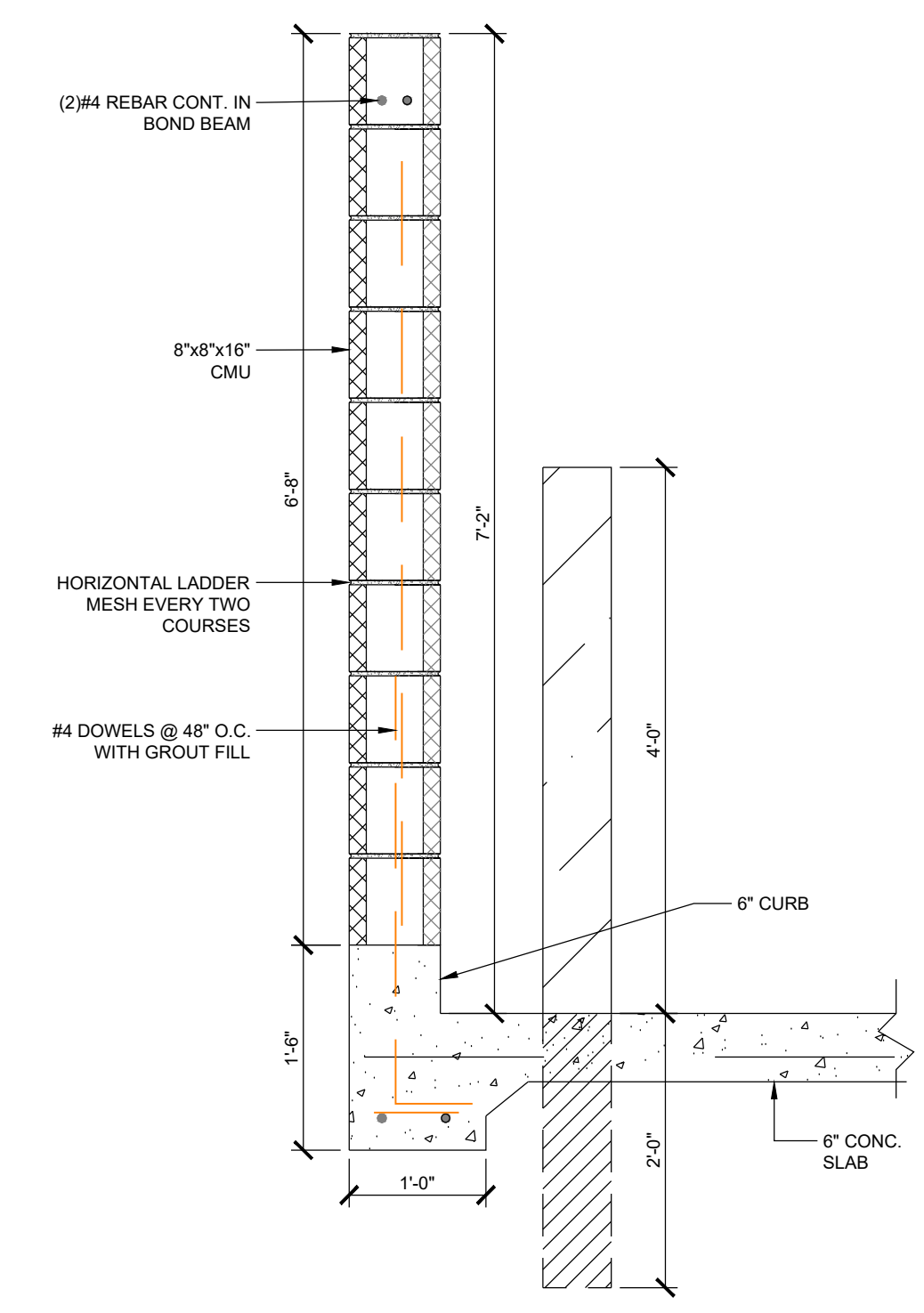
NOTE: INJECTION MOLDED FITTINGS ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS. WATERTIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE.



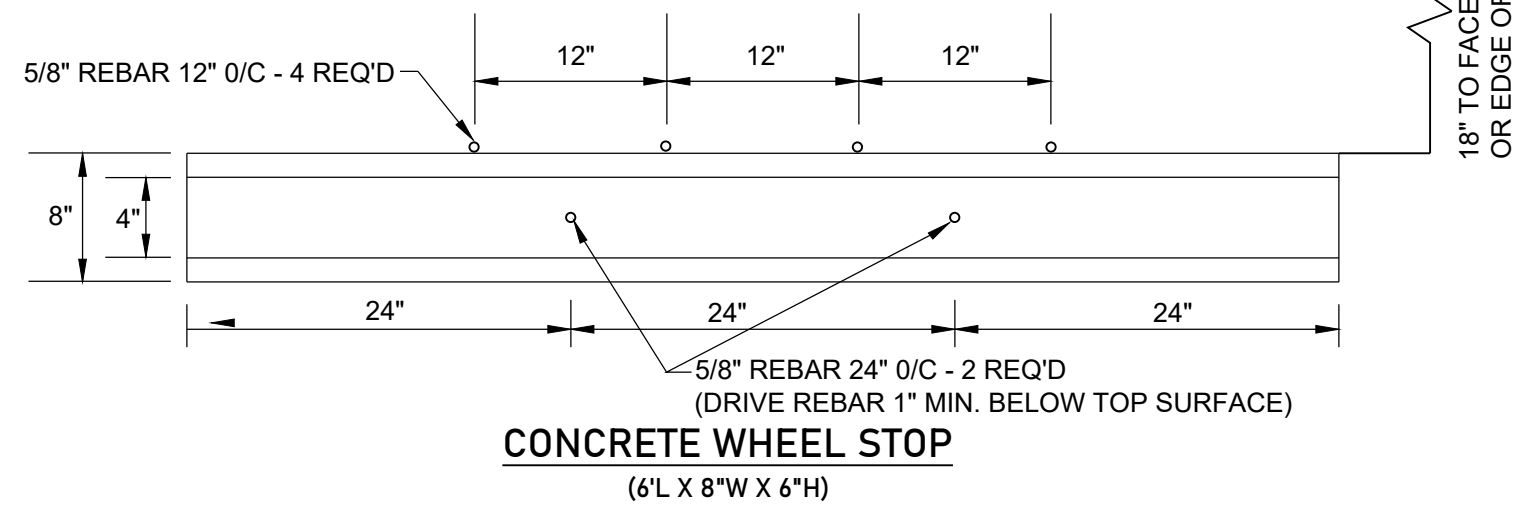
ROOF DRAIN INLET DETAIL



INTEGRAL CURB



DUMPSTER PAD WALL DETAIL
NOT TO SCALE



CONCRETE WHEEL STOP
(6'L X 8"W X 6"H)

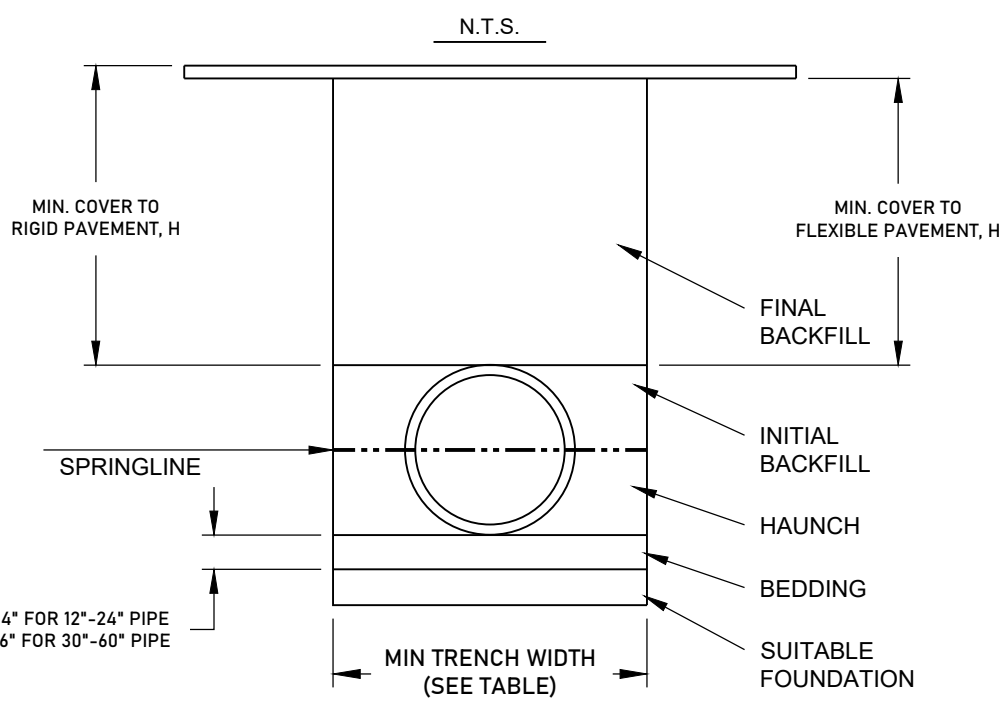
PERMIT SET FOR REVIEW PURPOSES ONLY

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 Forrest County, Mississippi

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C7.1



- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION, WITH THE EXCEPTION THAT THE INITIAL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321 CLASS IV MATERIALS (MH, CH) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 - FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 12"-24" (300mm-600mm) DIAMETER PIPE; 6" (150mm) FOR 30"-60" (750mm-900mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT. USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
 - INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT. USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
 - MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, CLASS I OR II MATERIAL COMPACTED TO 95% SPD AND CLASS III COMPACTED TO 90% SPD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" (300mm) UP TO 48" (1200mm) DIAMETER PIPE AND 24" (600mm) OF COVER FOR 60" (1500mm) DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

TABLE 1. RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN TRENCH WIDTH
12" (300mm)	30" (750mm)
15" (375mm)	34" (860mm)
18" (450mm)	39" (990mm)
24" (600mm)	48" (1200mm)
30" (750mm)	56" (1420mm)
36" (900mm)	64" (1620mm)
42" (1050mm)	72" (1830mm)
48" (1200mm)	80" (2030mm)
60" (1500mm)	96" (2440mm)

TABLE 2. MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

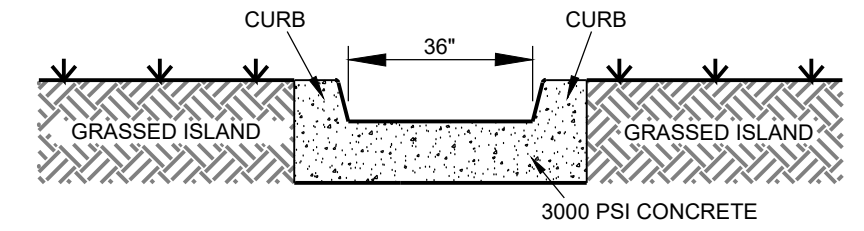
PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD)*
12" - 48" (300mm - 1200mm)	12" (300mm)	48" (1200mm)
60" (1500mm)	24" (600mm)	60" (1500mm)

*VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

TABLE 3. MAXIMUM COVER FOR ADS HP STORM PIPE BY CLASS

PIPE DIA	CLASS	CLASS						
		COMPACTED	95%	90%	85%	95%	90%	95%
12"	CLASS I	41	29	21	10	22	12	11
(300mm)	CLASS II	32	23	16	9	17	11	10
15"	CLASS III	44	30	22	10	23	13	12
(375mm)	CLASS IV	13.4m	9.1m	6.7m	3.0m	7.0m	4.0m	3.7m
18"	CLASS I	38	26	19	9	20	12	11
(450mm)	CLASS II	11.6m	7.9m	5.8m	2.7m	6.1m	3.7m	3.4m
24"	CLASS III	52	33	23	10	24	13	12
(600mm)	CLASS IV	9.8m	7.0m	4.9	2.7m	5.2m	3.4m	3.0m
30"	CLASS I	35	25	18	9	18	12	11
(750mm)	CLASS II	10.7m	7.6m	5.5m	2.7m	5.5m	3.7m	3.4m
36"	CLASS III	31	22	15	9	16	11	10
(900mm)	CLASS IV	9.5m	6.7m	4.6m	2.7m	4.9m	3.4m	3.0m
42"	CLASS I	33	23	17	8	17	11	10
(1050mm)	CLASS II	10.1m	7.0m	5.2m	2.4m	5.2m	3.4m	3.0m
48"	CLASS III	31	22	15	8	16	11	10
(1200mm)	CLASS IV	9.5m	6.7m	4.6m	2.4m	4.9m	3.4m	3.0m
60"	CLASS I	38	25	17	8	18	11	10
(1500mm)	CLASS II	11.0m	7.6m	5.2m	2.4m	5.5m	3.4m	3.0m

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12. LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
NO HYDROSTATIC PRESSURE
UNIT WEIGHT OF SOIL (γs) = 120 PCF



CURBED FLUME DETAIL

ADS, Inc. Drainage Handbook
Table 5-2
Classes of Embedment and Backfill Materials

ASTM D2321(A) (CSA B182.11) Class Description	ASTM D2487		AASHTO M43 Notation	AASHTO M145 Notation	BNQ 2560	ASTM Dm 2321 (A) (CSA B182.11)									
	Notation	Description				Percentage Passing Sieve Sizes			Atterberg Limits		Coefficients				
						1 1/2 in. (40mm)	3/8" (9.5mm)	No. 4 (4.75mm)	No. 200 (0.075 mm)	LL	PI	Cu	Cc		
II(B) Crushed rock, angular C	N/A	Angular crushed stone or rock, crushed gravel, crushed slag, large voids with little or no fines	5, 56, 57(D), 6, 67(D)	N/A		100%	≤25%	≤15%	<12%	Non Plastic					
II Clean, coarse-grained soils	GW	Well-graded gravel, gravel-sand mixtures; little or no fines	5, 6	A1, A3	CG-14, MG-20	100%				Non Plastic		>4	1 to 3		
	GP	Poorly-graded gravels, gravel-sand mixtures; little or no fines	56, 67, 67											<4	<1 or >3
	SW	Well-graded sands, gravelly sands; little or no fines												>6	1 to 3
	SPF	Poorly-graded sands, gravelly sands; little or no fines												<6	<1 or >3
Coarse-Grained Soils, borderline clean to w/fines	GW, GC, SP, SM	Sands and gravels which are borderline between clean and with fines	N/A			100%		Varies	5% to 12%	Non Plastic			Same as for GW, GP, SW and SP		
III Coarse-grained soils with fines	GM	Silty gravels, gravel-sand-silt mixtures	Gravel & sand with <10% fines	A-2-4, A-2-5, A-2-6, or A-4 or A-6 soils with more than 30% retained on #200 sieve		100%			12% to 50%	N/A	<4 or <'A' Line	<7 & >'A' Line	N/A		
	GC	Clayey gravels, gravel-sand-clay mixtures												>4 or <'A' Line	>7 & >'A' Line
	SM	Silty sands, sand-silt mixtures												>4 or <'A' Line	>7 & >'A' Line
	SC	Clayey sands, sand-clay mixtures												>4 or <'A' Line	>7 & >'A' Line
Inorganic fine-grained soils	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, silts with slight plasticity	N/A	A-2-7 or A-4 or A-6 soils with 30% or less retained on #200 sieve		100%			<30% (Retained)	<50	<4 or <'A' Line	>7 & >'A' Line	N/A		
	CL	Inorganic clays of low to medium plasticity; gravelly, sandy, or silty clays; lean clays	N/A											>30% (Retained)	>7 & >'A' Line
IV(E) Inorganic fine-grained soils	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, silts with slight plasticity	N/A	A-2-7 or A-4 or A-6 soils with 30% or less retained on #200 sieve		100%			<30% (Retained)	<50	<4 or <'A' Line	>7 & >'A' Line	N/A		
	CL	Inorganic clays of low to medium plasticity; gravelly, sandy, or silty clays; lean clays	N/A											>30% (Retained)	>7 & >'A' Line
V(G) Inorganic fine-grained soils	MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts	N/A	A5, A7		100%			>50%	>50	<'A' Line	>'A' Line	N/A		
	CH	Inorganic clays of high plasticity, fat clays	N/A											>'A' Line	
	OL	Organic silts and organic silty clays of low plasticity	N/A											<50	<4 or <'A' Line
	OH	Organic clays of medium to high plasticity, organic silts	N/A											>50%	>50
PT		Peat and other high organic soils	N/A												

- ADS, Inc. Drainage Handbook
Notes:
A) Refer to ASTM D2321 / CSA B182.11/ BNQ 2560 for more complete soil descriptions.
B) Class I materials allow for a broader range of fines than previous versions of D2321 / B182.11. When specifying class I material for infiltration systems, the engineering shall include a requirement for an acceptable level of fines.
C) All particle faces shall be fractured.
D) Assumes less than 25% passes the 3/8" sieve.
E) Class IV materials require a geotechnical evaluation prior to use and should only be used as backfill under the guidance of a qualified engineer.
F) Uniform fine sands (SP) with more than 50% passing a 100 sieve behave like silts and should be treated as Class III soils if allowed.
G) Class V materials shall not be permitted as bedding and backfill material.

ADS, Inc., August 2016

PERMIT SET FOR REVIEW PURPOSES ONLY

HIGH PERFORMANCE (HP) STORM TRENCH INSTALLATION DETAILS AND BACKFILL SPECIFICATIONS

REVISIONS			
NO.	DATE	DESCRIPTION	BY
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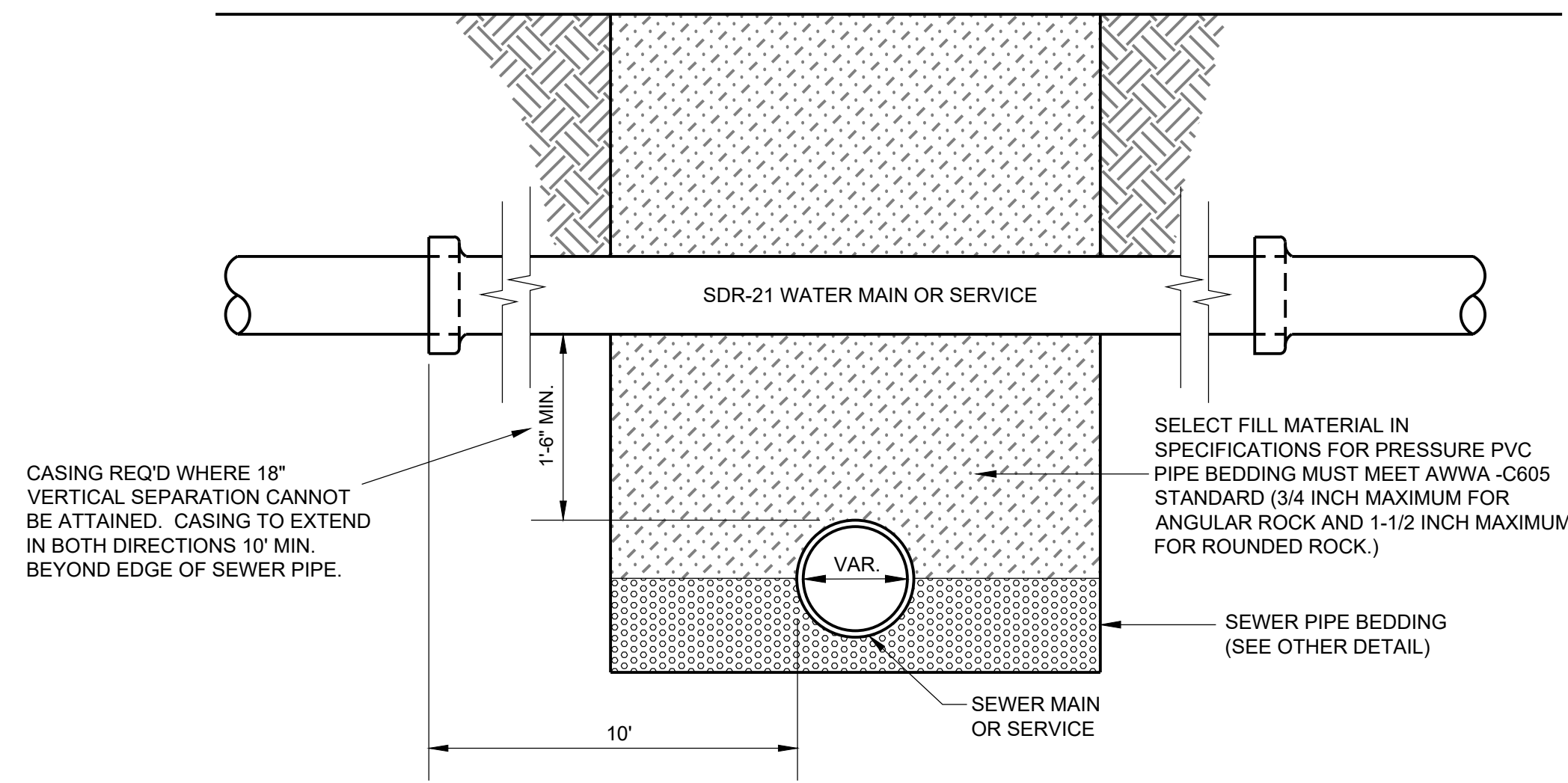
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DRAINAGE DETAILS

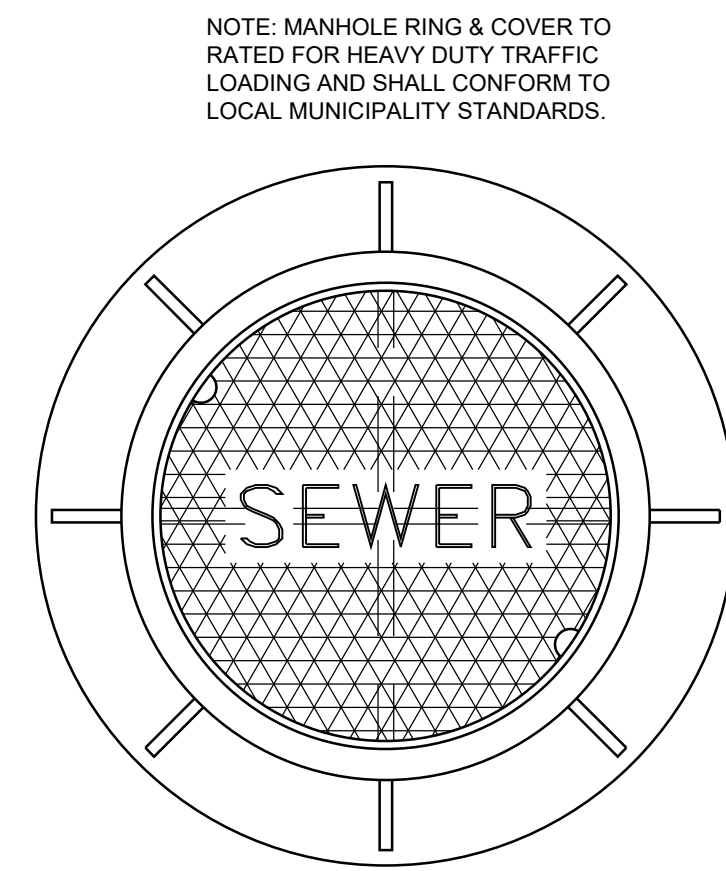
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Forrest County, Mississippi

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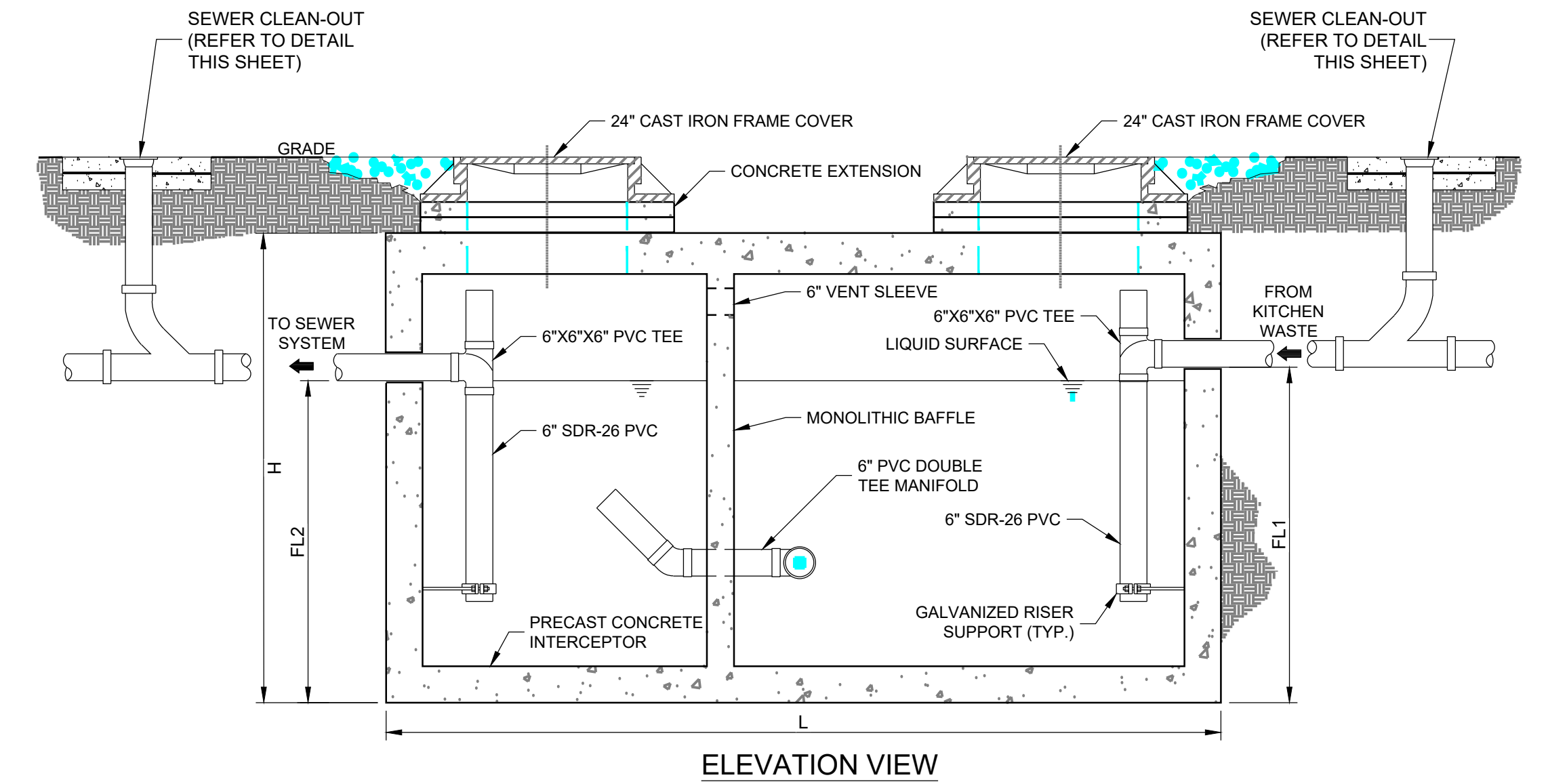
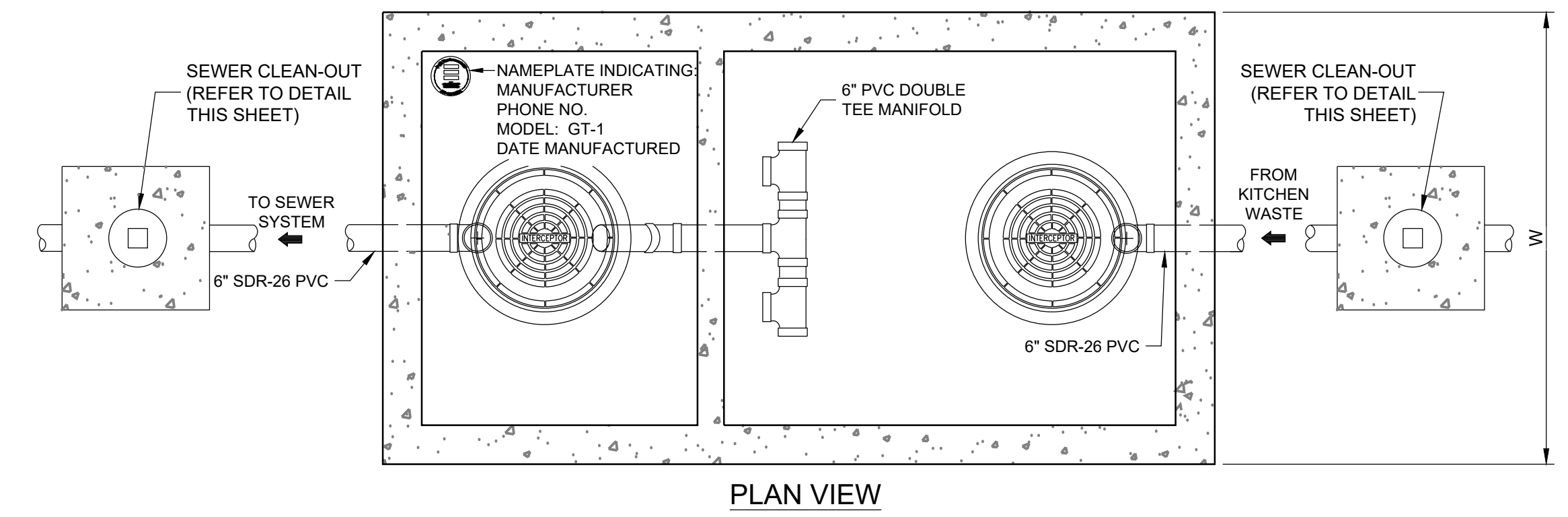
PROJ. NO.: 74622122 | DRAWN BY: SDM | CHECKED BY: JCA | SCALE: NONE | DATE: FEB., 2026



WATER-SEWER SEPARATION

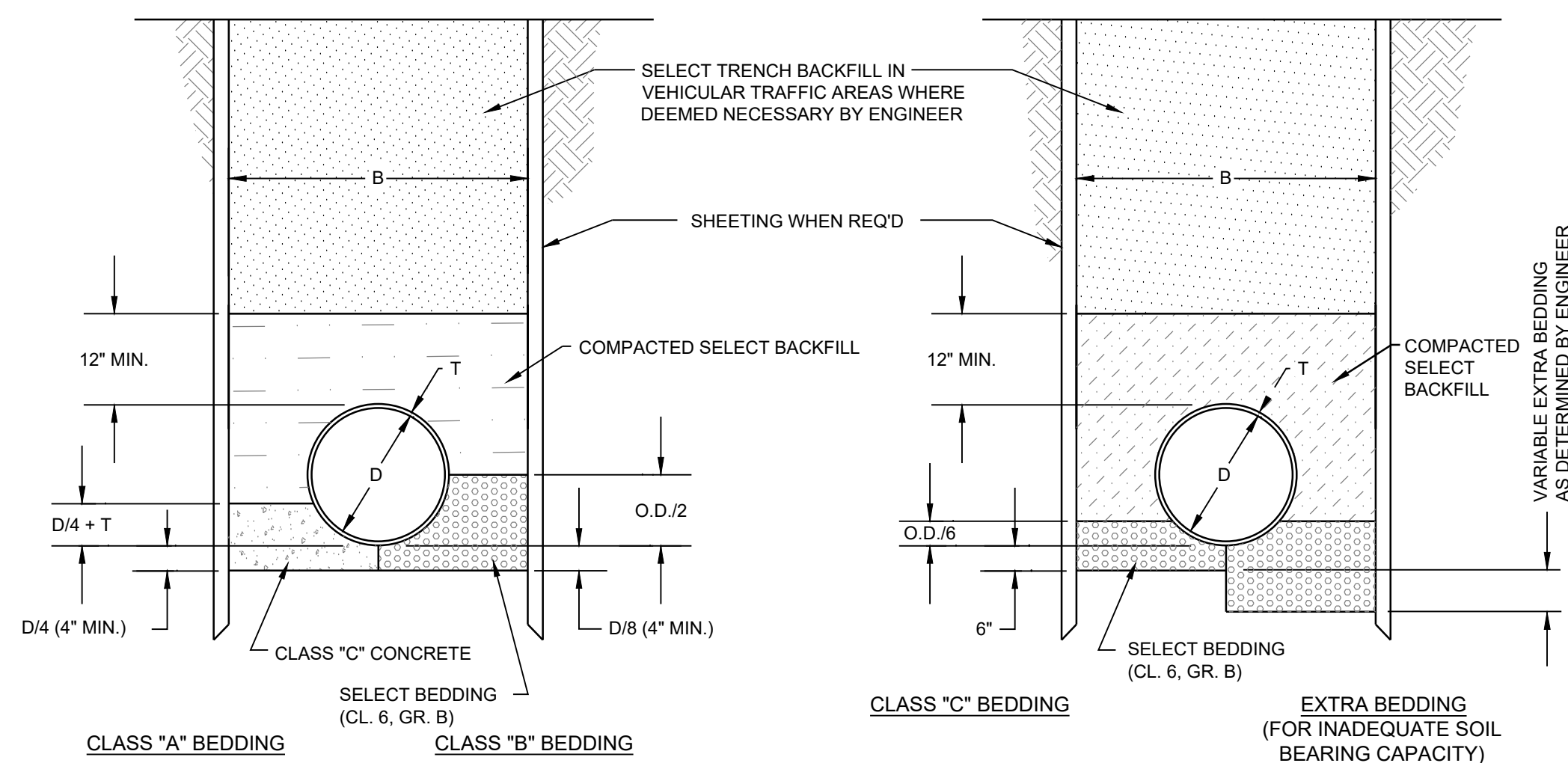


MANHOLE CASTING DETAILS

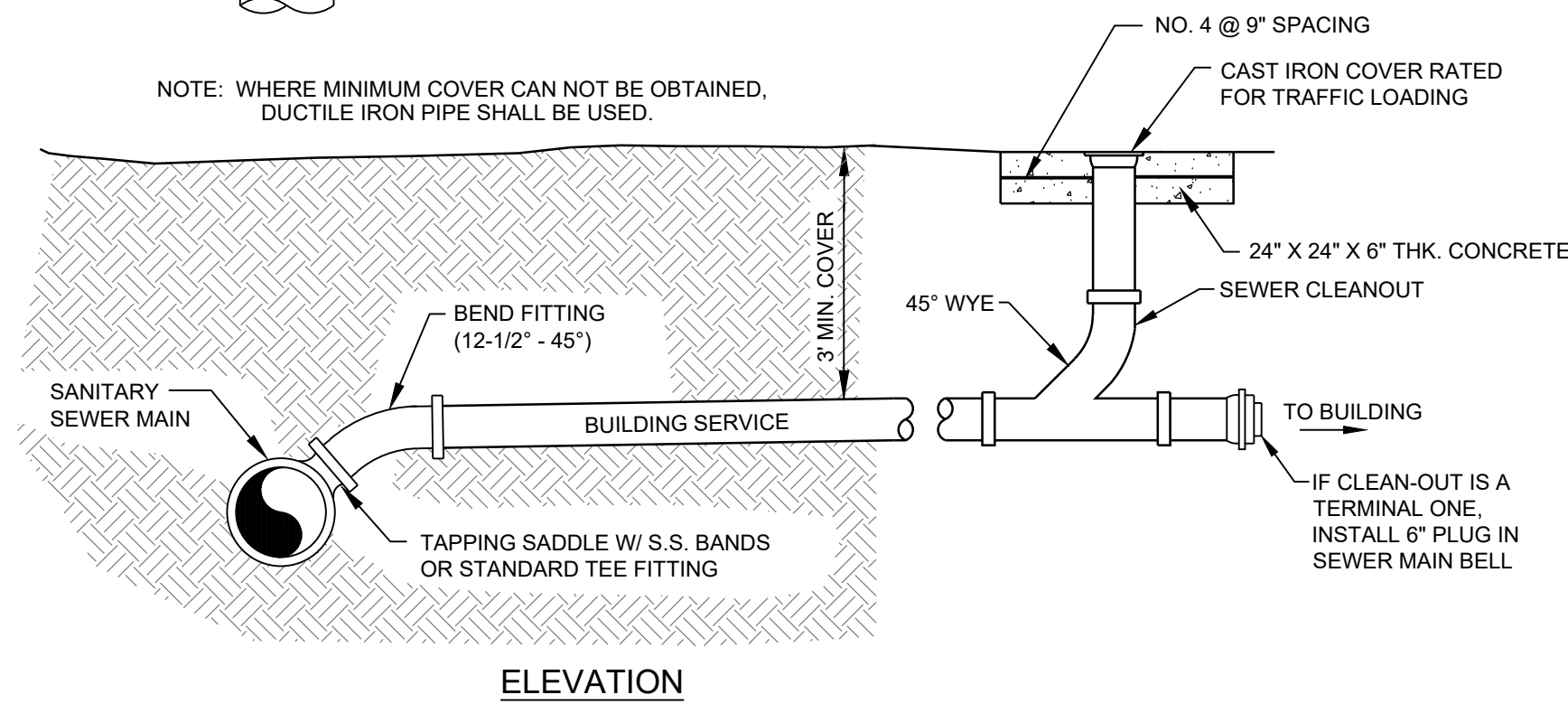
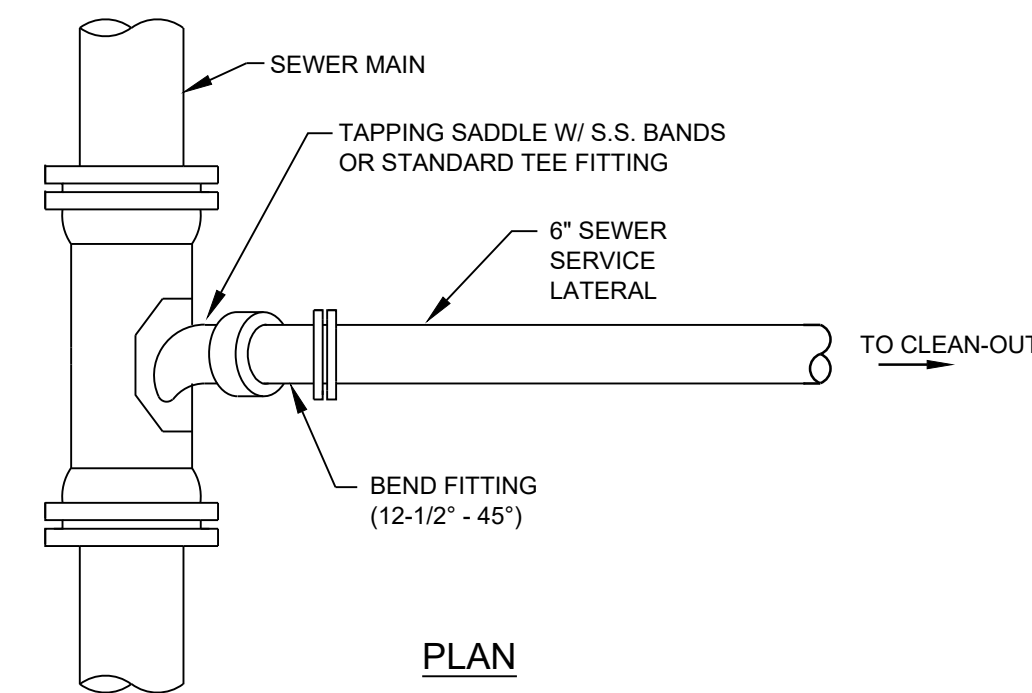


GREASE INTERCEPTOR SCHEDULE								
I.D.	CAPACITY USgal	GREASE CAP. (LBS)	EMPTY WT (LBS)	LENGTH L	WIDTH W	HEIGHT H	INLET FL1	OUTLET FL2
GT-1	1,000	2,300	13,350	8'-8"	5'-0"	6'-0"	4'-9"	4'-6"

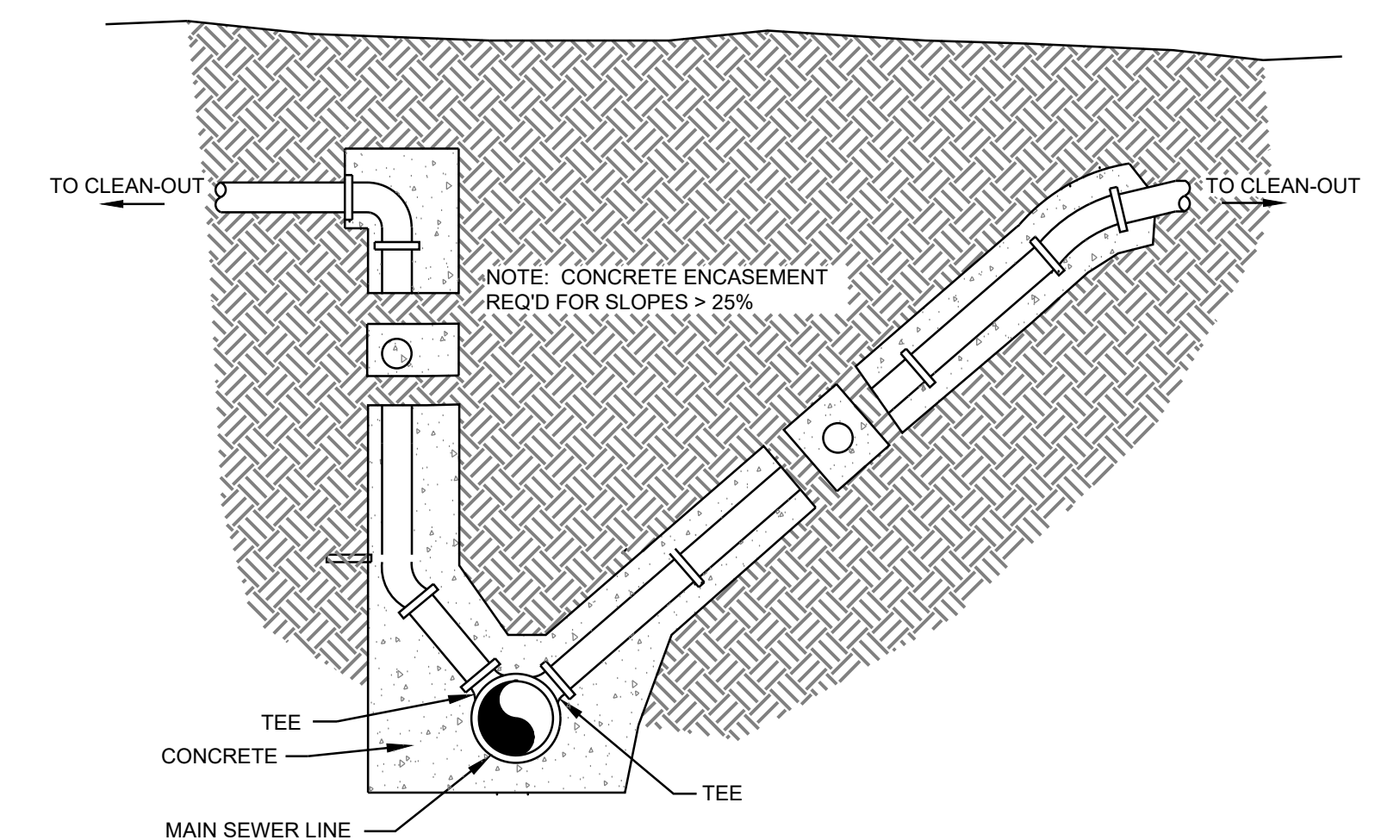
GREASE TRAP DETAIL



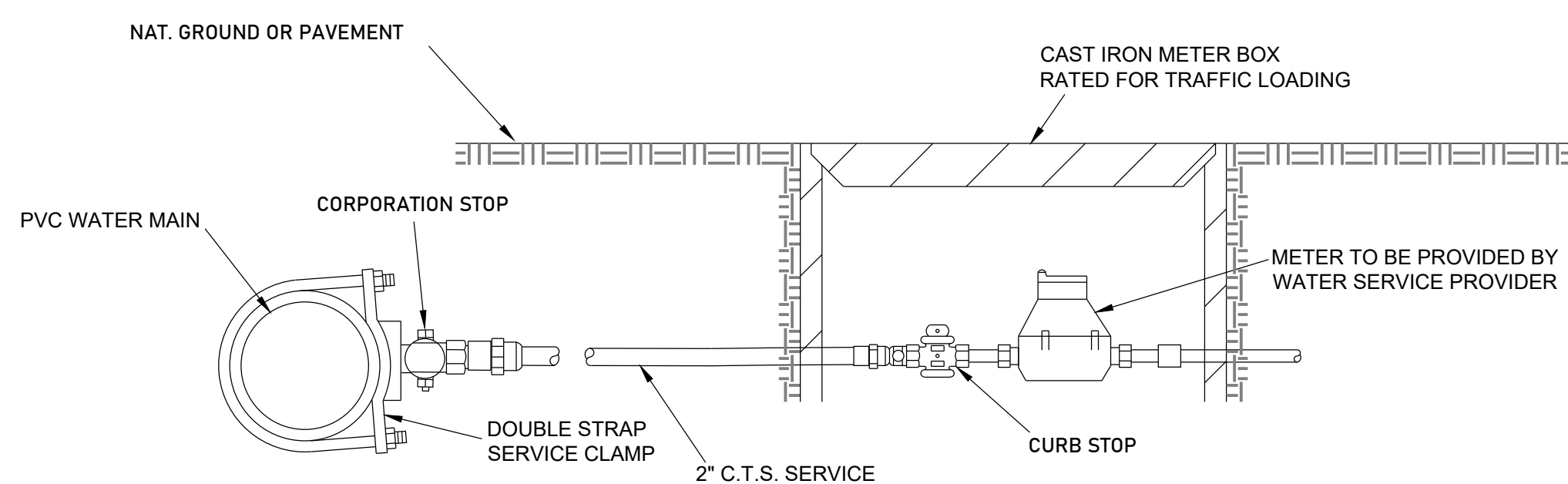
PIPE BEDDING DETAILS



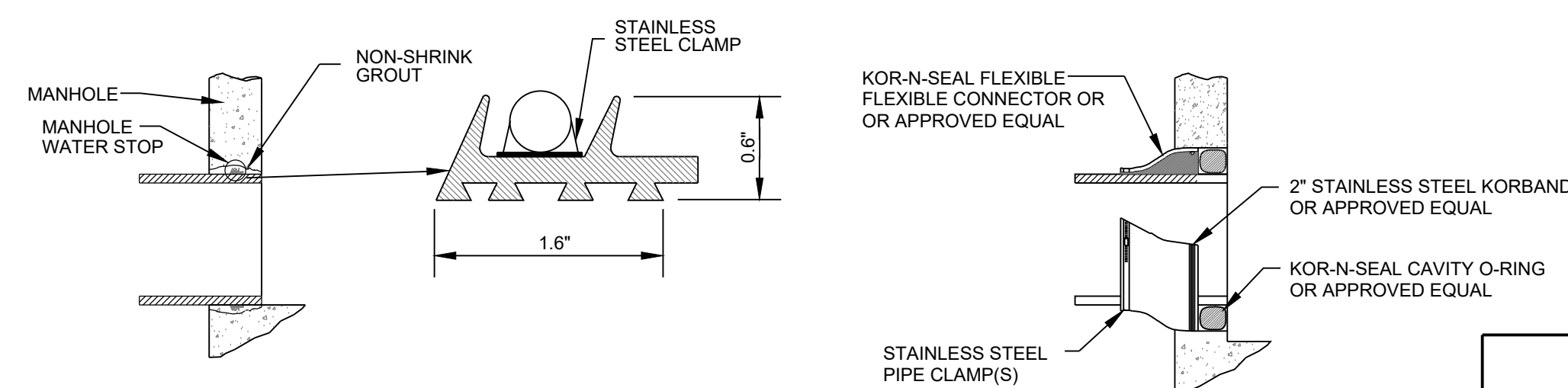
SEWER SERVICE CONNECTION AND CLEAN-OUT DETAILS



SEWER SERVICE DETAILS FOR DEEP SEWERS



TYPICAL DOMESTIC SERVICE CONNECTION



PIPE CONNECTION TO MANHOLE DETAILS

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WATER AND SEWER DETAILS

KeithCo, Inc.
 6652 Highway 49 / Stokes Drive
 City of Hattiesburg,
 Forrest County, Mississippi

SHEET NO.
C7.3



Staff Present:

Nathan Satcher (Senior Planner), Kevin Bates (Building Official),
Shawn Whitaker (Fire Marshal), Jerald Little (Engineering Technician),
Meridian McDaniel (Planner I), Noah Gower (Engineering Technician)

STATUS: RESUBMIT

SITE: 0326-0340

Project: Keiths Fueling Station

Address: Hwy 49 and Stokes Drive

Presented by: John Anglin, Keith Conerly, Josh Lanehart

Use Designation: Fueling Station

PPIN: 27634, 27635, 27636, 37556

Flood Zone: X

Historic District: N/A

Elevation Certificate Required: No

County: Forrest

Ward: 5

Construction type: New Construction

Zoning: B-5

Estimated Cost: TBD

ADDITIONAL APPROVAL NOTES:

1. Planning Division:

a. Requirement 1 – Curb Cut and Driveways

i. Driveways- 50ft wide is too wide

1. LDC 7.5.2.3 "Two-way driveway entrances shall be a maximum of 24 feet wide."

2. LDC 7.5.2.4 "Three-way driveway entrances shall be a maximum of 36 feet wide."

ii. Mississippi Department of Transportation (MDOT) permit for any work in MDOT ROW required for site plan approval.

1. Staff are currently working on changes to code for flexibility for MDOT required drives, but it is not in place currently

2. The current solution would be to seek a variance for the driveway width for each driveway

a. Public Hearing Information

i. May 6th Public Hearing

1. Application Deadline- March 30, 2026

b. Requirement 2 – Sidewalk

i. Sidewalk Requirement

1. LDC 7.6.1.1 "Sidewalks shall be provided along all public streets on the entire frontage of a development site and align with existing sidewalks on adjacent properties including both frontages on corner lots.

Minimum sidewalk width is five feet. Additional width may be required as determined by Site and Design Review. Where on-site construction is impractical or unnecessary, developers may contribute to the Sidewalk Bank Fee-in-Lieu Program, subject to approval."

a. Sidewalk Bank Fee-in-Lieu Information (eligible by right)- 450 ft frontage

i. In lieu of building the sidewalk on the property, a fee can be paid to contribute to the sidewalk bank.

ii. City will provide a quote for the sidewalk, if it were to be built on the property.

1. Applicant can also get 3 quotes from contractors (quote would be the same level of sidewalk work), and an average can be taken in lieu of the city's quote.

2. LDC 7.6.1.3 *“Where sidewalks are not yet present on adjacent sites, sidewalks shall be constructed at least five feet behind the curb to allow for landscaping and street trees. If sidewalks are present on adjacent properties, the new sidewalk shall connect to the existing sidewalk.”*
 - ii. Sidewalks required to go to edge of property line
 - iii. Sidewalks cannot be just a painted striped walkway as proposed on site plan
 1. LDC 7.6.1.5 *“Sidewalks shall be composed of broom finished. Asphalt sidewalks are prohibited.”*
 - iv. Sidewalk on ROW to connect to the building.
 1. 7.6.2.1 *“Internal pedestrian circulation shall be provided to create interconnected walkways safely conveying pedestrians from adjacent streets and parking areas to the site destination.”*
 2. 7.6.2.2 *“Material may include brick, pavers, tile, stone, or stamped or brush finished concrete. The use of asphalt, cinderblock, and gravel is prohibited.”*
 3. 7.6.2.3 *“Crosswalks shall be designated by white pavement striping or materials of a different color and texture from the surrounding surface but conforming to the overall color scheme of the development.”*
 - v. Installation of sidewalk option:
 1. Mississippi Department of Transportation (MDOT) permit for any work in MDOT ROW required for site plan approval.
 2. If MDOT does not approve the sidewalk, the sidewalk can be placed on private property, and a maintenance easement and public access can be recorded with the county for the city to maintain.
 - vi. Fee in Lieu option:
 1. The City Engineer will provide a quote to applicants for the fee in lieu. Applicants will have 45 days to pay the city. Payment must be received before site plan approval can be granted.
- c. Requirement 3 – Landscaping**
- i. End Cap Landscape Islands
 1. 7.5.3.9 *“A landscaped island providing not less than one hundred twenty (120) square feet of landscaped area shall be installed for each 150 lineal feet of parking area and shall cap ends of parking rows. Landscape islands shall generally be not less than 8 feet wide and 15 feet in length, measured from back of curb; alternative dimensions may be approved by the Site and Design Review Committee, provided the minimum area requirement is met, and the intent of this standard is satisfied. Islands shall be landscaped in accordance with the landscape standards of this code and designed and constructed to support long-term tree health (See Illustration 7.5-3)”*
 2. Landscape islands with 1 large tree each are needed on each end of north parking spaces
 3. Landscape islands needed on all parking end caps—240sqft
 - ii. Interior Landscaping
 1. Confirm interior landscaping calculation is exclusive of landscape islands.
 - a. See LDC 7.10.1
 - b. Show on the landscape plan the calculations for all (landscape islands, non-landscape islands, etc.)
 - c. 720sqft of landscaping needed for 36 proposed parking spaces
- d. Requirement 4 – Other Plans Needed**
- i. Landscaping Plan
 - ii. Lighting Plan
 1. See LDC 7.7 Site Lighting and Building Illumination for lighting requirements
 - a. LDC 7.7.1.2. *“Site lighting shall not extend beyond site boundaries. Luminaries shall be shielded, shaded, or directed to prevent light from being cast on adjacent property.”*
 - b. LDC 7.7.1.1. *“Streets, driveways, parking lots, walks and service areas shall be adequately illuminated as evenly as possible, **not exceeding an average of .3 foot-candles diminishing to zero at a site’s boundary.** Lighting intensity shall be demonstrated by means of a site lighting plan illustrating compliance.”*
 2. Show calculations for the lighting across the site—make sure to include the entire site.
 - iii. Building and Canopy Architectural Plans
 1. LDC 7.8.1.6 *“No flat-faced concrete masonry unit (CMU) block or metal panel surfaces shall be used as a primary exterior surface material. “Primary” means seventy-five percent (75%) or more of any exterior wall plane or mansard surface. Materials of equal or superior quality may be considered as alternatives, subject to approval through the applicable review process. (See Illustration 7.8-4.)”*
 2. LDC 7.8.2.1 *“Building materials shall suit the architectural style of a building and be consistent or*

complementary throughout. Exterior surface materials shall be selected from among the following: brick, cementitious stucco, stone, vertical board and batten, wood, or cementitious siding and approved architectural concrete masonry unit. EFIS may only be used in banding, decorator strips, cornice lines and wall capping.”

3. LDC 7.8.3.1 “Wall surfaces shall be composed of at least 75% a single material and color. With the exception of decorator accents, colors shall be subtle, neutral, or earth tone or relate to appropriate historic building colors found within the City.”

2. Engineering Department:

a. **Requirement 1 – Address**

- i. Consult with Mr. Gerry Burns at the Emergency Operations Center at (601)545-4615 on the address.

b. **Requirement 2 – Stokes Drive**

- i. Written letter from Stokes for access/closure of Stokes Drive
- ii. Staff recommendation for access easement for landlocked property owners who would access off of Stokes Drive
 1. Or a potential public access easement
 2. Contact the City Engineer to discuss this further
- iii. City Engineer discussing the Stokes Drive situation with the administration
- iv. Mississippi Department of Transportation (MDOT) permit for any work in MDOT ROW required for site plan approval.

c. **Requirement 3 – Bollard detail needed**

3. Fire Marshall:

- a. **Requirement 1 – No additional comments.**

4. Building

a. **Requirement 1 – Sprinkler System required**

- i. Show fire water lines on the site plan.